

Frederick County Planning Commission

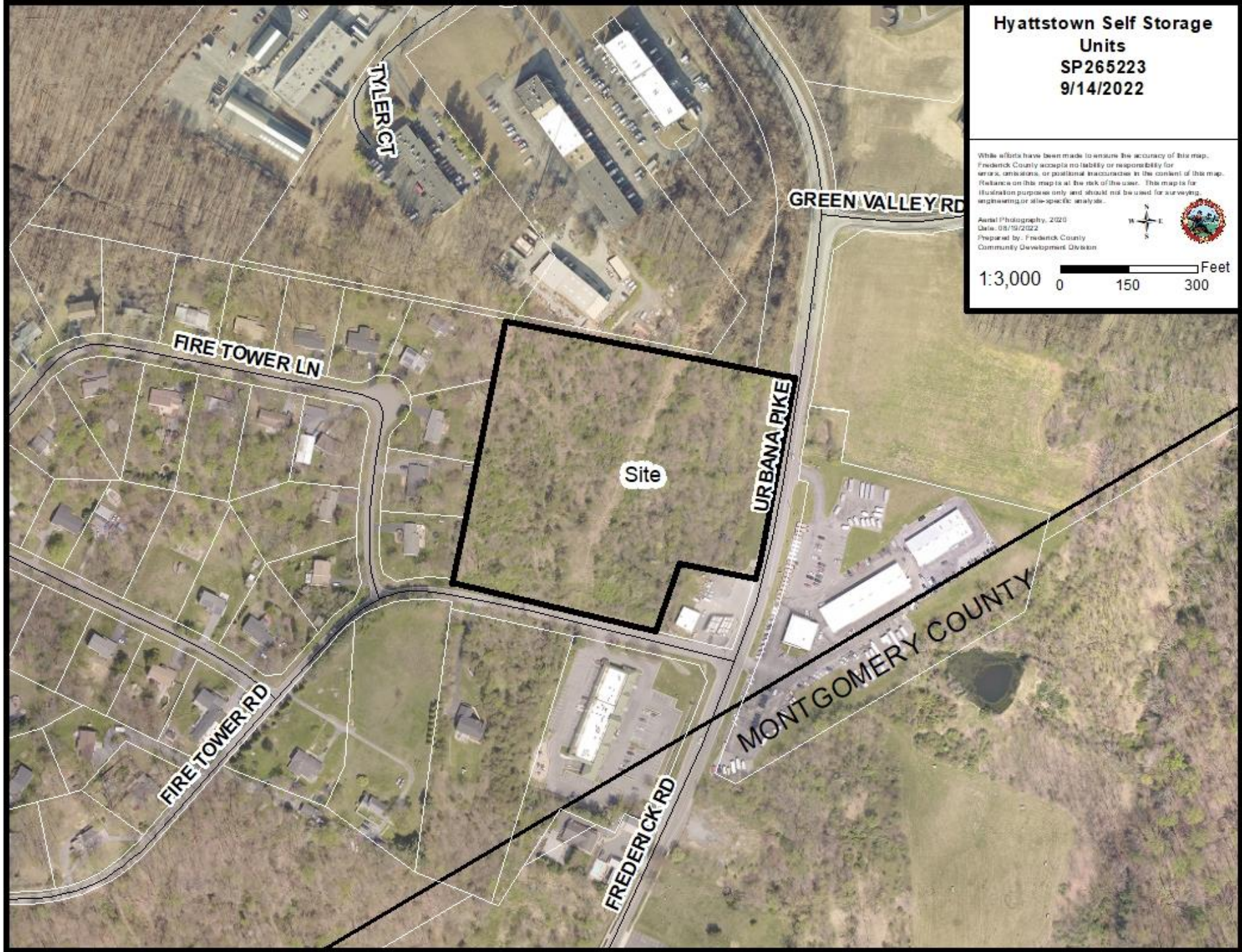


May 10, 2023

Hyattstown Self-Storage Units/Complex

Site Plan

The Applicant is requesting Site Plan approval to construct a self-storage unit facility on an 8.02-acre property.



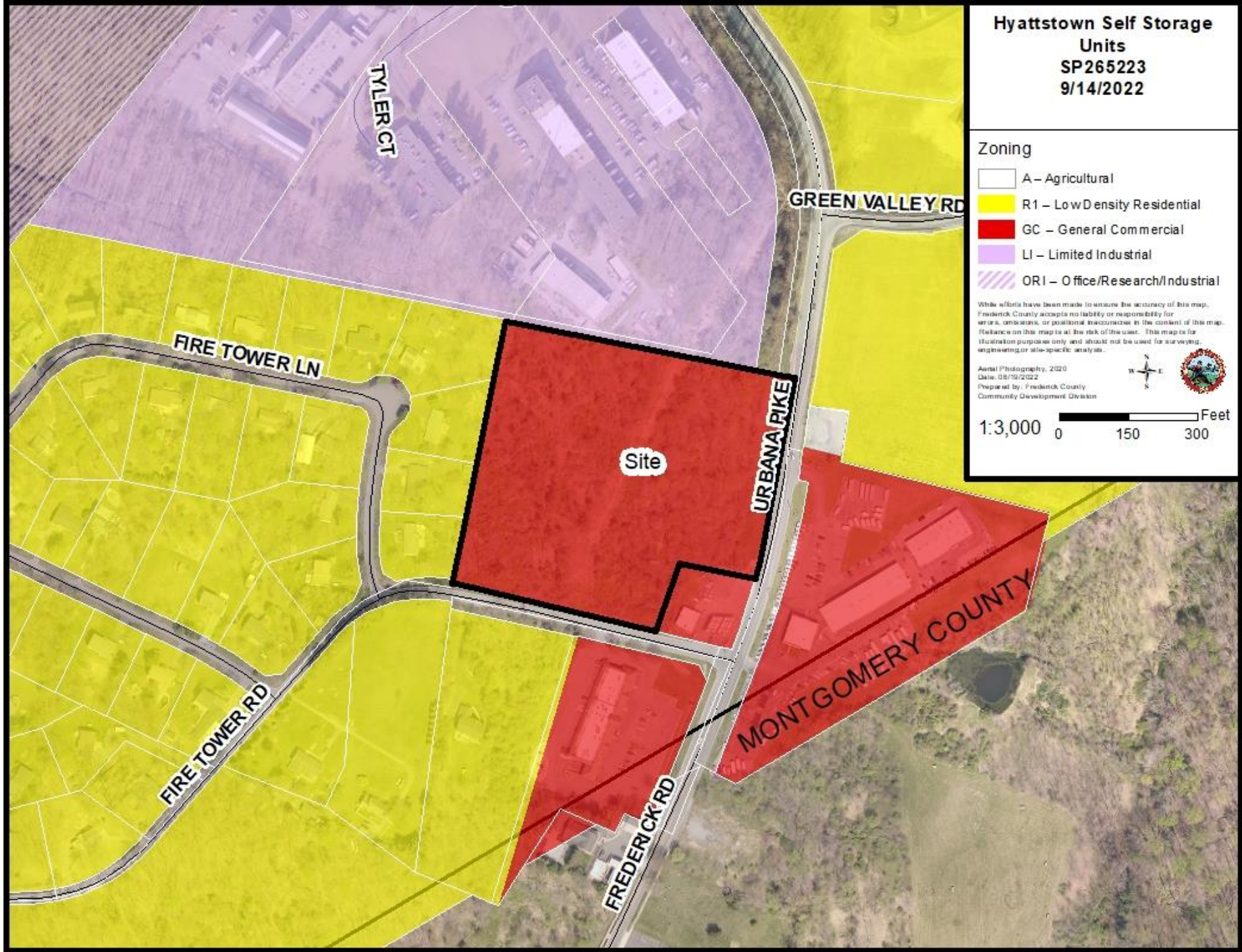
**Hyattstown Self Storage
Units
SP265223
9/14/2022**

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Aerial Photography, 2020
Date: 08/02/2022
Prepared by: Frederick County
Community Development Division



1:3,000 0 150 300 Feet



**Hyattstown Self Storage
Units
SP265223
9/14/2022**

Zoning

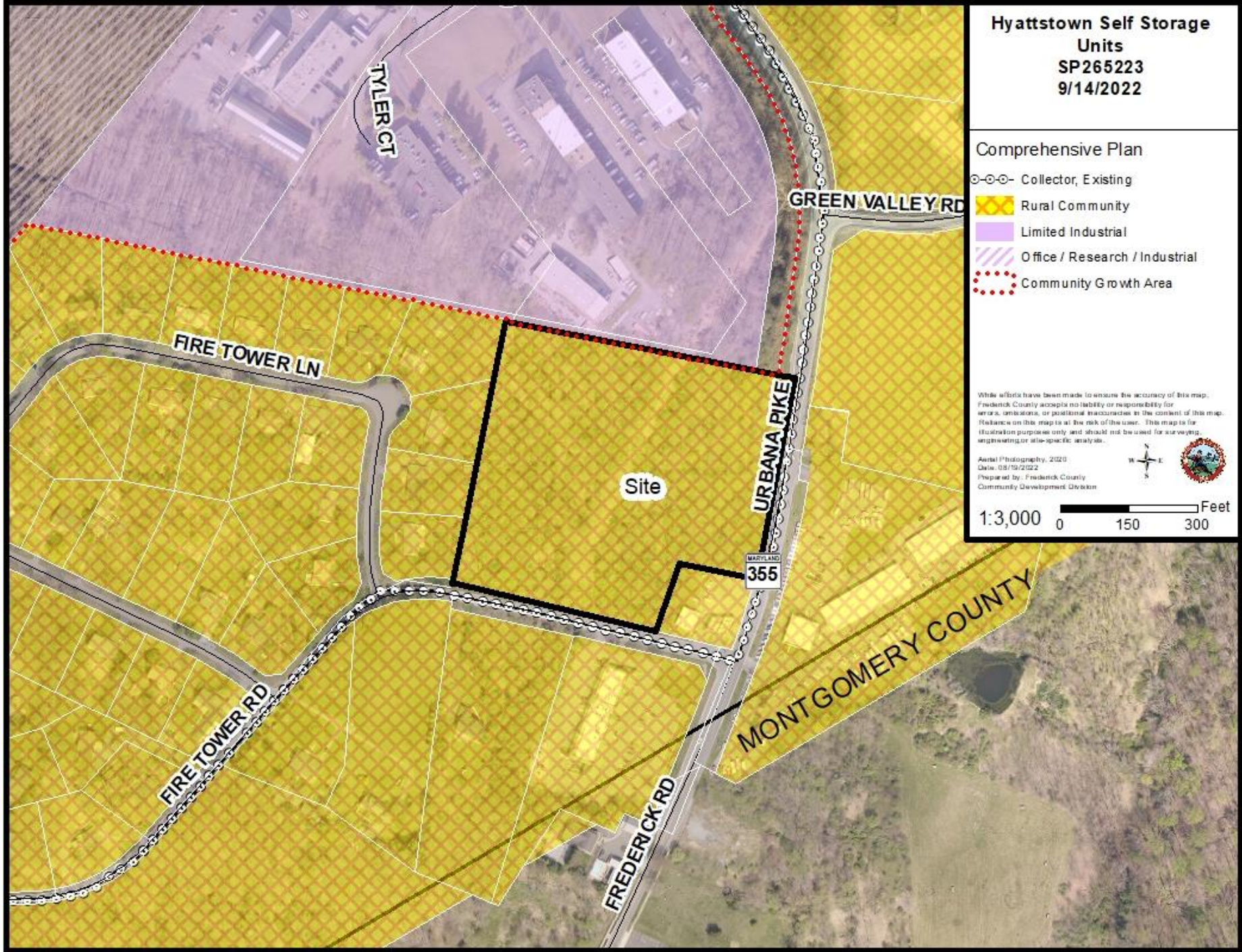
- A – Agricultural
- R1 – Low Density Residential
- GC – General Commercial
- LI – Limited Industrial
- ORI – Office/Research/Industrial

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Aerial Photography, 2020
Date: 08/19/2022
Prepared by: Frederick County
Community Development Division



1:3,000 0 150 300 Feet



**Hyattstown Self Storage
Units
SP265223
9/14/2022**

Comprehensive Plan

- Collector, Existing
- Rural Community
- Limited Industrial
- Office / Research / Industrial
- Community Growth Area

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Aerial Photography, 2020
Date: 08/19/2022
Prepared by: Frederick County
Community Development Division



1:3,000 0 150 300 Feet



LEGEND	
EX. CONTOUR	
PROP. CONTOUR	
EX. WATER LINE	1/2" x 1/2"
PROP. WATER LINE	1/2" x 1/2"
EX. SANITARY SEWER	1/2" x 1/2"
PROP. SANITARY SEWER	1/2" x 1/2"
EX. STORM DRAIN	1/2" x 1/2"
PROP. STORM DRAIN	1/2" x 1/2"
EX. PAVEMENT (E.O.P.)	
PROP. PAVEMENT	
EX. PROPERTY LINE	
PROP. BOUNDARY LOT	
PROP. FENCE	
EX. "TIE-IN"	
PROP. SIDEWALK	
PROP. CONCRETE	
1/2" GAS LINE	
UTILITY FOR TS	
OVERHEAD ELEC. LINES	
FIRE HYDRANT	
EASEMENTS	
BUILDING RESTRICTION LINES (BRL)	

Terra Solutions Engineering, LLC
Commercial & Residential Land Planning and Engineering
13965 Chesapeake Road
Hyattsville, MD 20785
Phone: 301.275.0442
www.terra-solutions-engineering.com

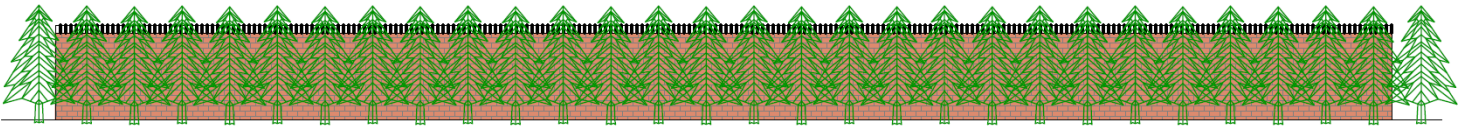
Owner/Developer
TM 106 P. 45
URBANA PIKE, LLC
L 7066 P. 101
13965 Chesapeake Road
Hyattsville, MD 20785
Contact: Mr. Jim Shaw, Jr.
Phone: 301.275.0442

HYATTSTOWN SELF-STORAGE COMPLEX
Sited at No. 1920 Urbana Pike
Liber 14426 Folio 472
Election District No. 7
Frederick County, Maryland

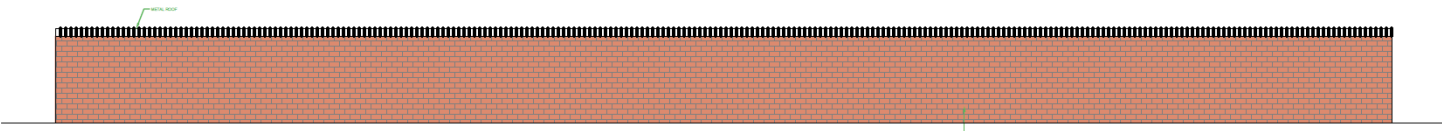
SITE PLAN RENDERING

NO.	DATE	REVISION	BY
1	8-22-22	REV. EIR DFP COMMENTS	CLW
2	4-15-23	REV. EIR B2A & DFP COMMENTS	CLW

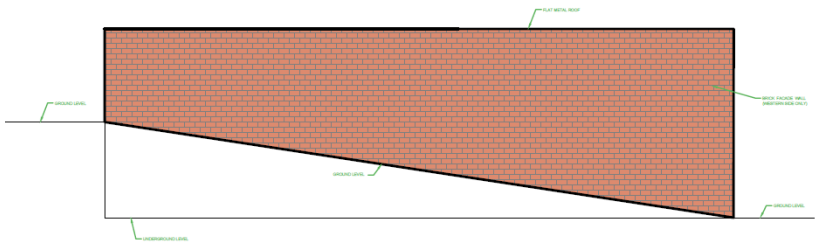
Scale & Signatures
PROJECT No.: 280
DATE: APRIL 2023
SCALE: 1" = 40'
SHEET No.: 3 of 5



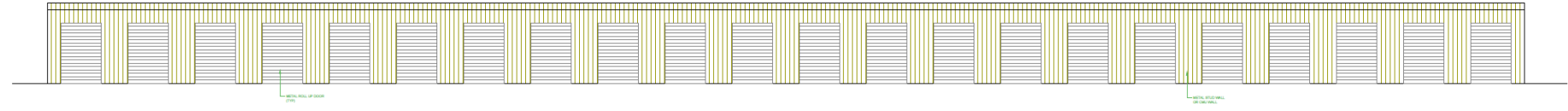
BUILDING #19 ELEVATION w/ SCREENING CONCEPT



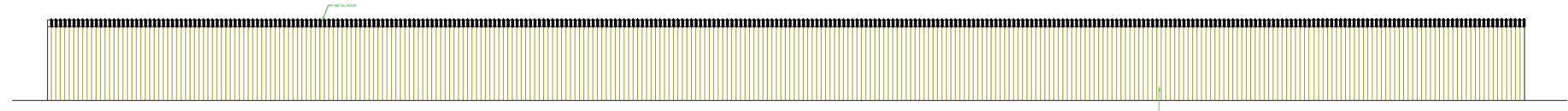
BUILDING #19 ELEVATION - LOOKING EAST



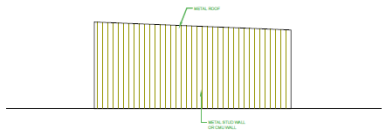
BUILDINGS #11 & 13 SIDE ELEVATION - LOOKING EAST



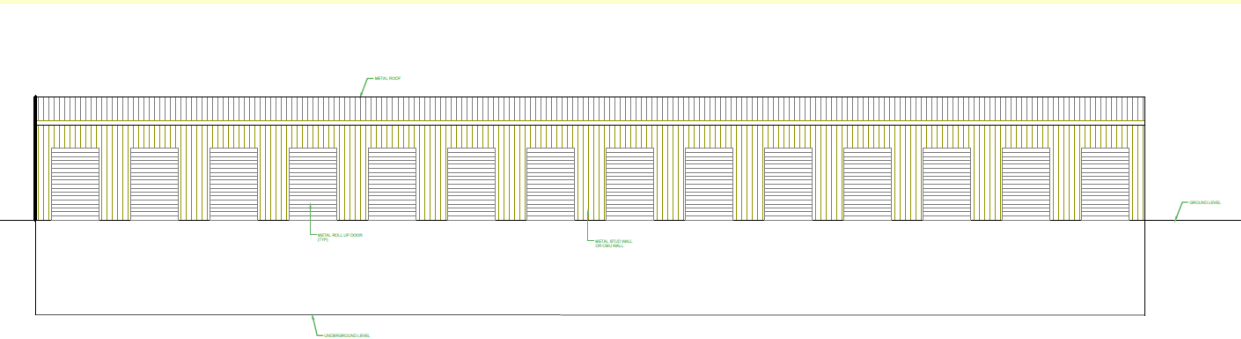
BUILDING #4 ELEVATION - LOOKING SOUTHEAST



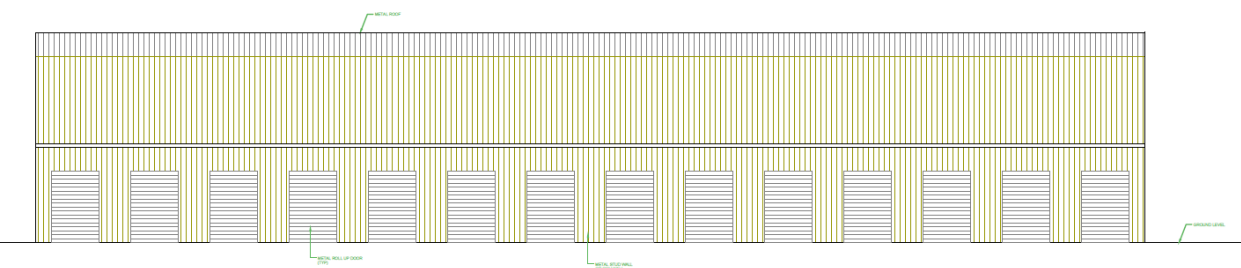
BUILDING #4 ELEVATION - LOOKING NORTHWEST
FROM MARYLAND ROUTE 355



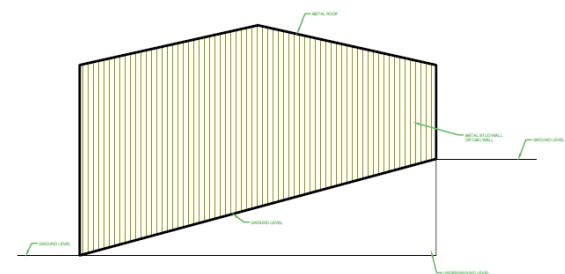
BUILDING #4 SIDE ELEVATION - LOOKING NORTHEAST



BUILDING #2 ELEVATION - LOOKING SOUTHEAST

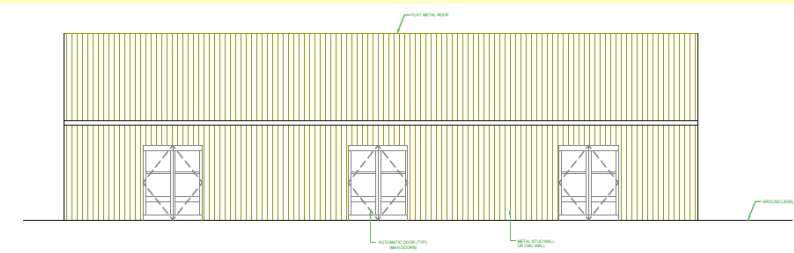


**BUILDING #2 ELEVATION - LOOKING NORTHWEST
TOWARDS MARYLAND ROUTE 355**

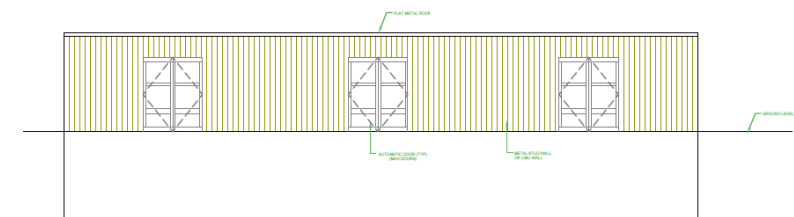


BUILDING #2 SIDE ELEVATION - LOOKING SOUTHWEST

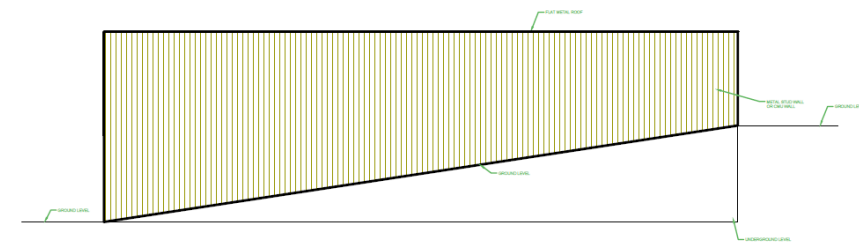
ELEVATION VIEW
SCALE: 1/16" = 1'-0"



**BUILDING #10 ELEVATION - LOOKING NORTH
ADJACENT TO FIRE TOWER ROAD**



BUILDING #10 ELEVATION - LOOKING SOUTH



BUILDINGS #10 & 12 SIDE ELEVATION - LOOKING WEST

RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan, as long as the Commission approves the modification request. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until May 10, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modification is granted and conditions are met:

Planning Commission approval of the following modification request from the Applicant:

1. Approval of a modification to allow for an alternate on-site location for Street Trees per Section 1-19-6.400(A)(2) of the Zoning Ordinance.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. The Preliminary/Final FRO plan must be approved prior to Site Plan approval. FRO mitigation must be provided prior to plat recordation, prior to applying for grading permits or building permits, whichever is applied for first.

Aligned Data Centers

Quantum Frederick Lot 106

Site Plan

The Applicant is requesting Site Plan approval to construct a 450,000 SF gross floor area Critical Digital Infrastructure Facility on a 74.89-acre property

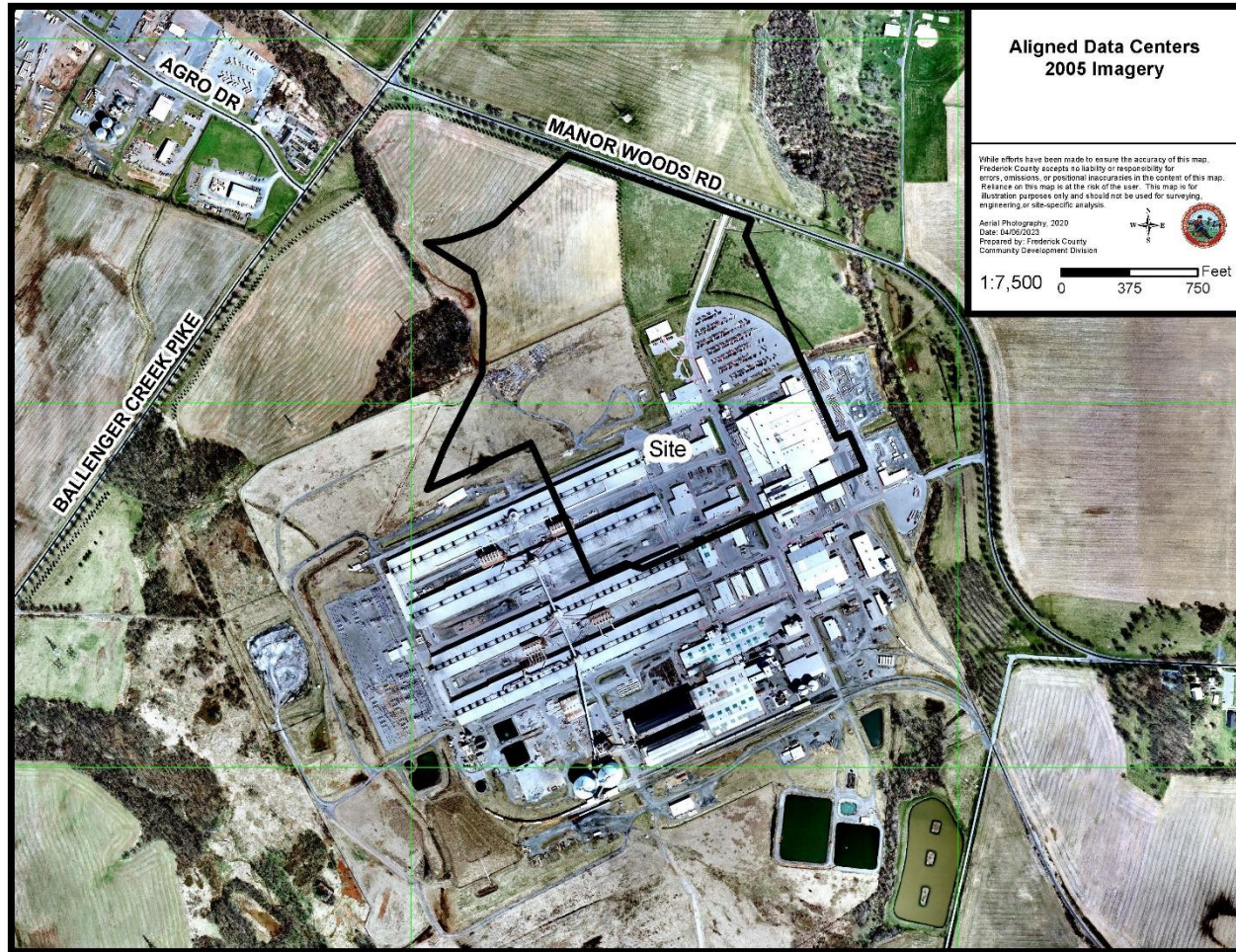
2008 Aerial



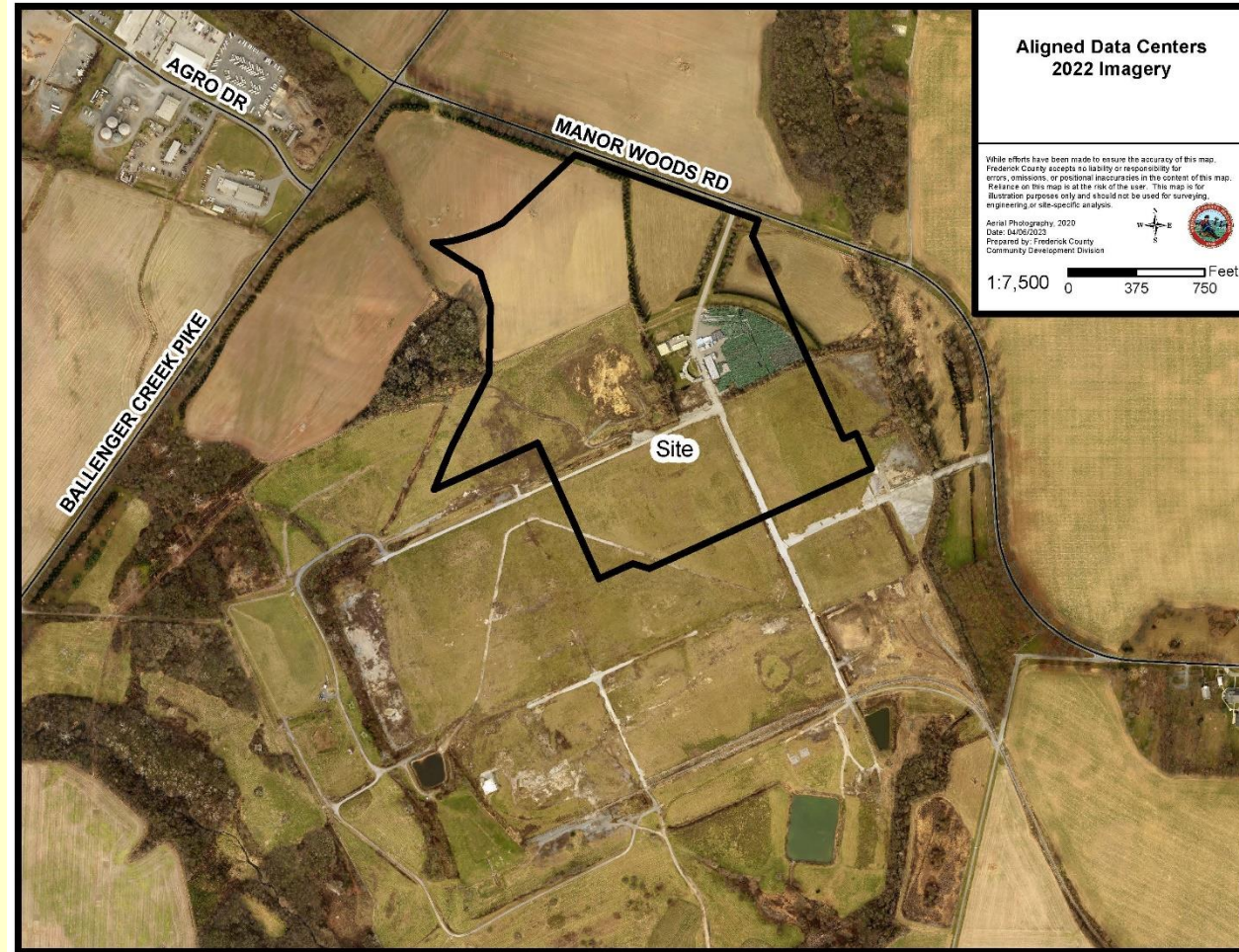
2021 Aerial



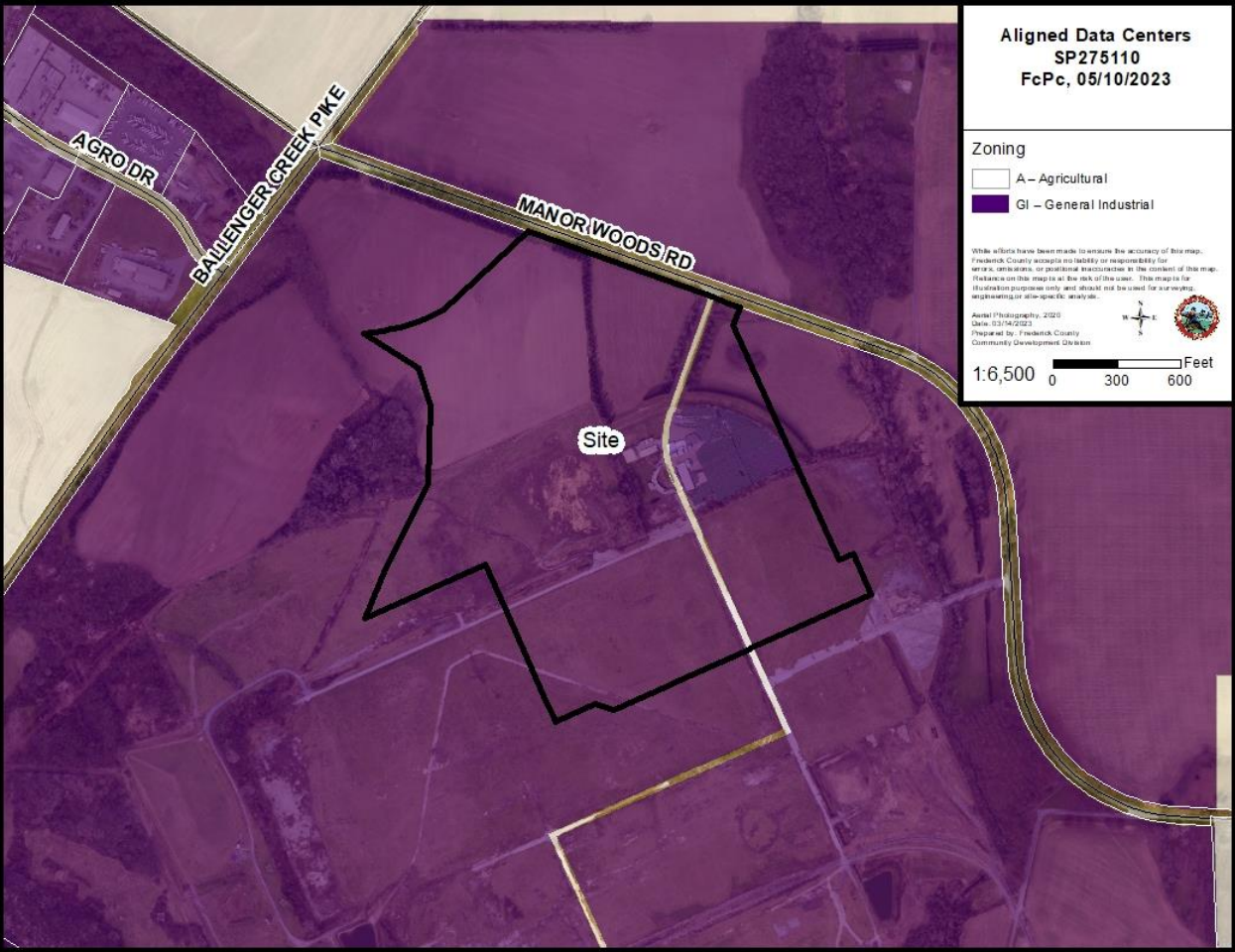
2005 Aerial



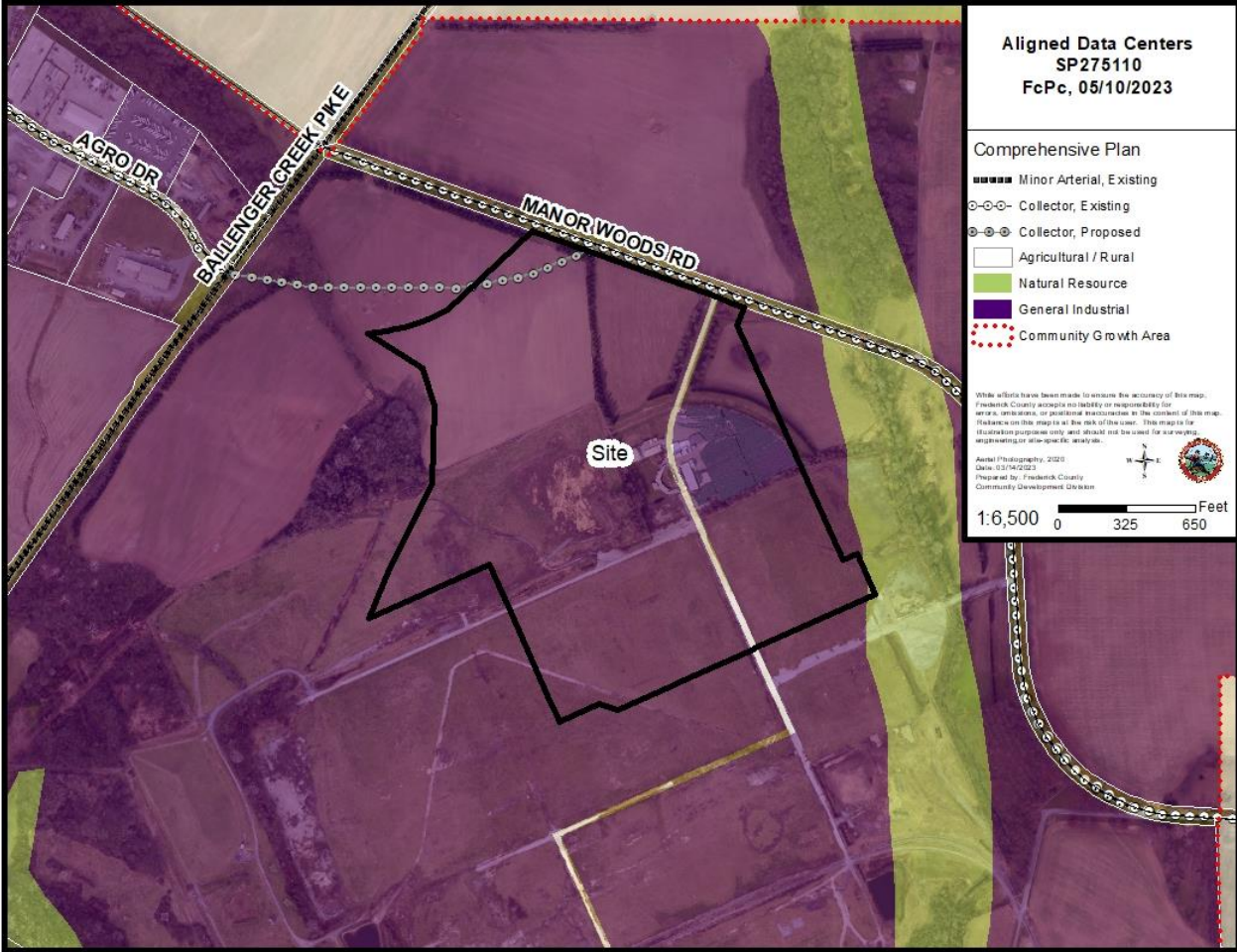
2022 Aerial

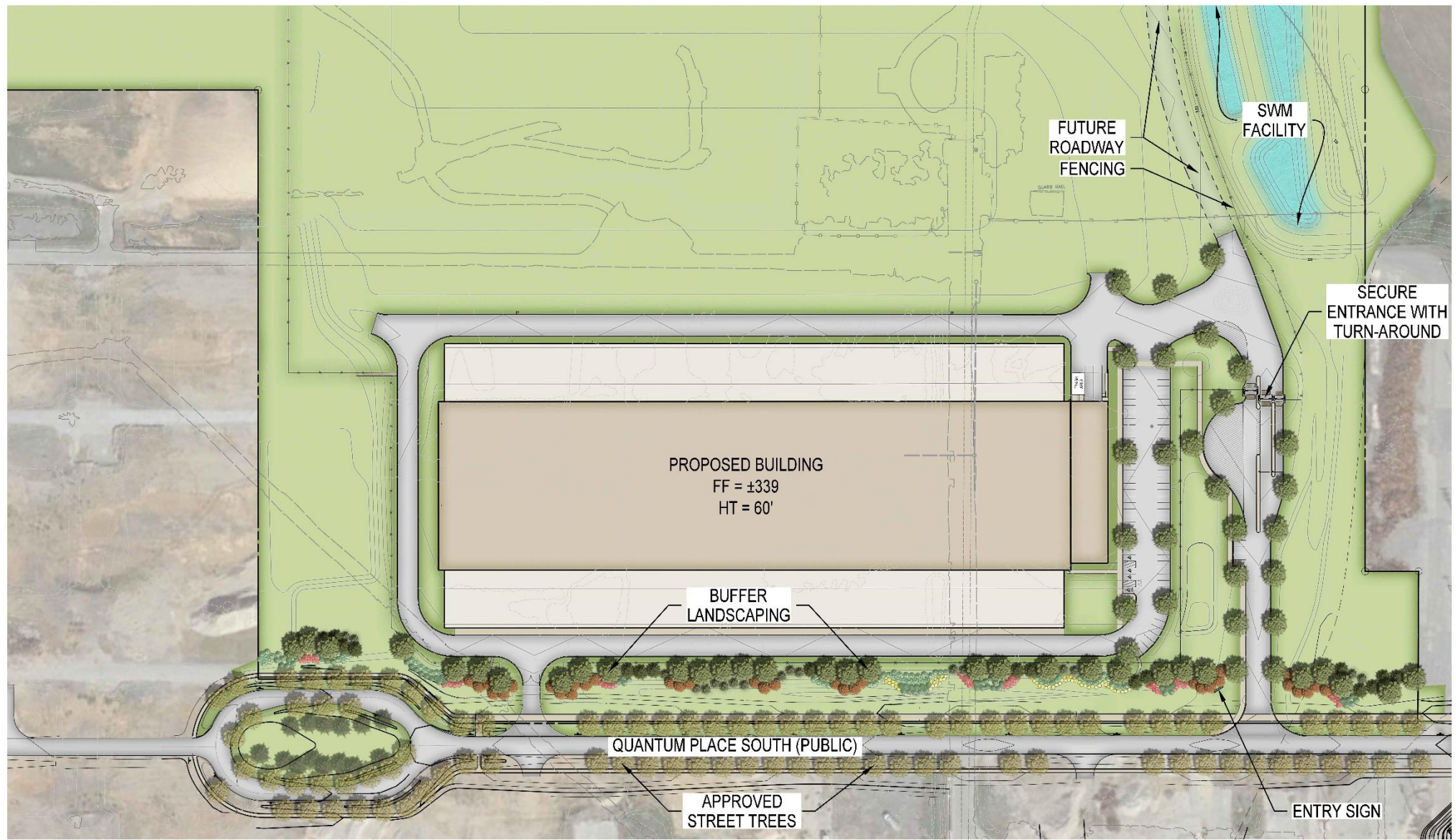


Zoning Map



Comprehensive Plan





Illustrative Rendering - Phase 1



QUANTUM FREDERICK - LOT 106

ALIGNED DATA CENTERS
Frederick County, Maryland



Scale: 1" = 60'
April 20, 2023



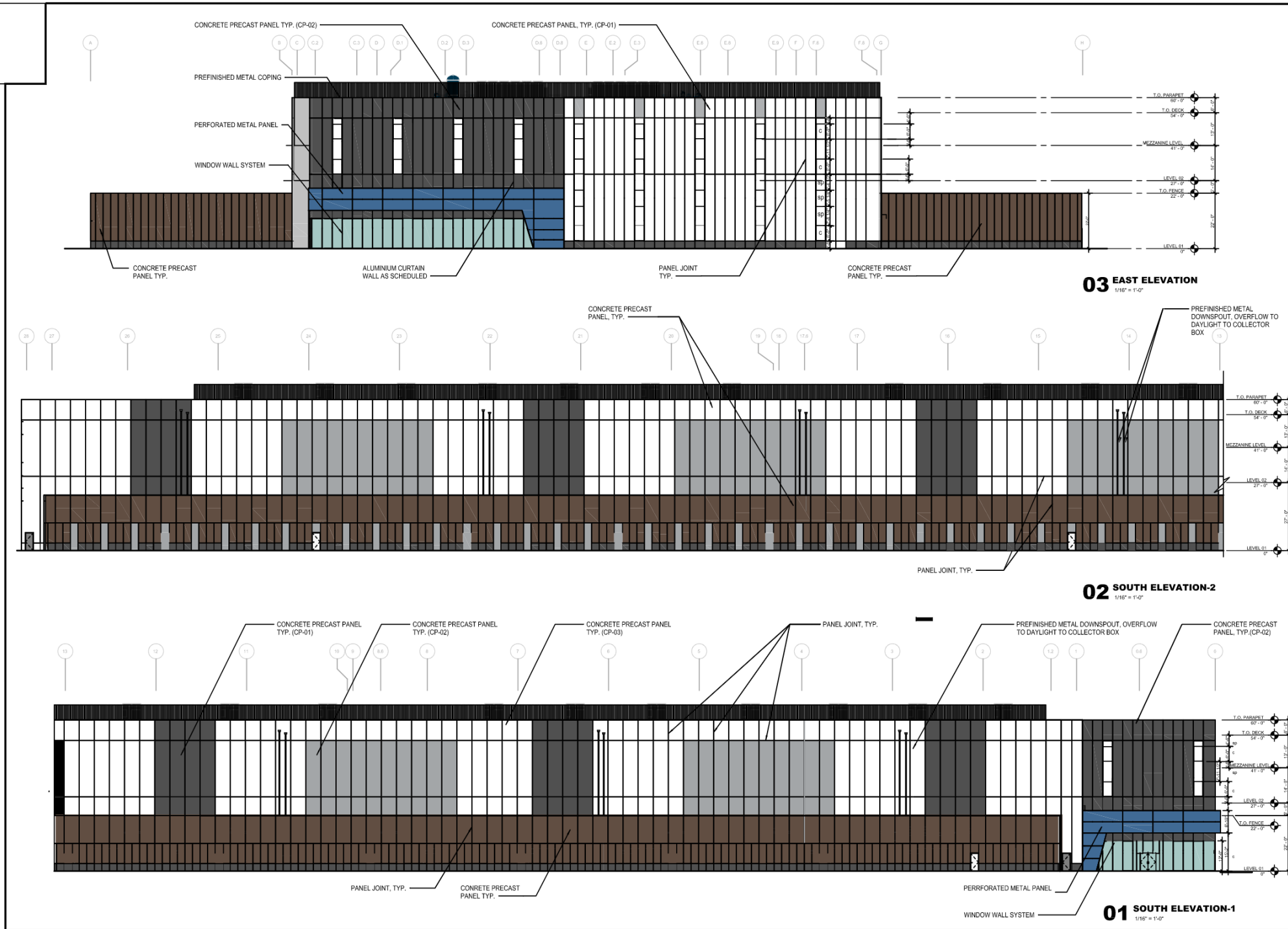
Illustrative Rendering - Phase 1



QUANTUM FREDERICK - LOT 106

AL GNEID DATA CONSULTING
Frederick & County, Maryland

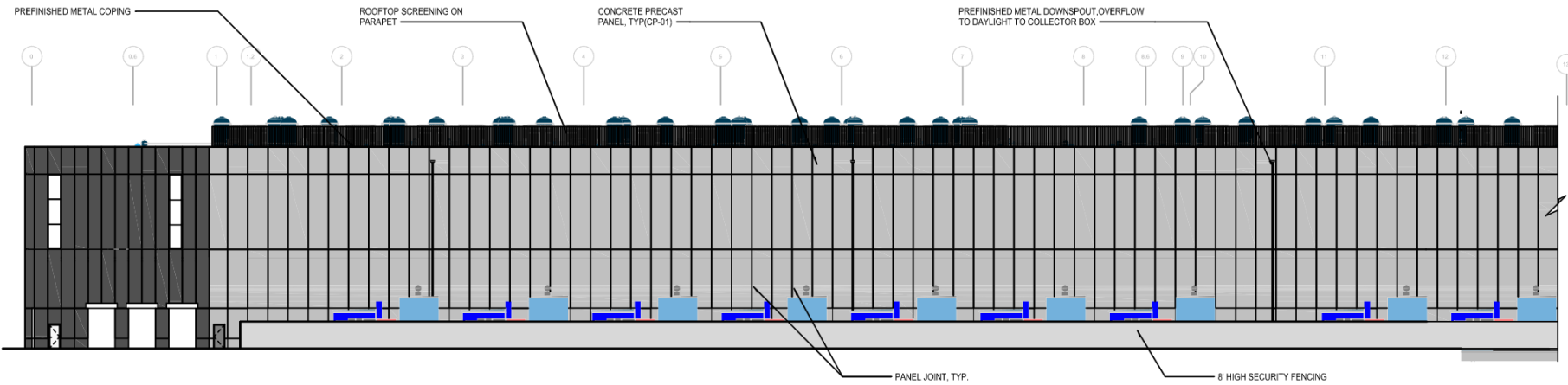




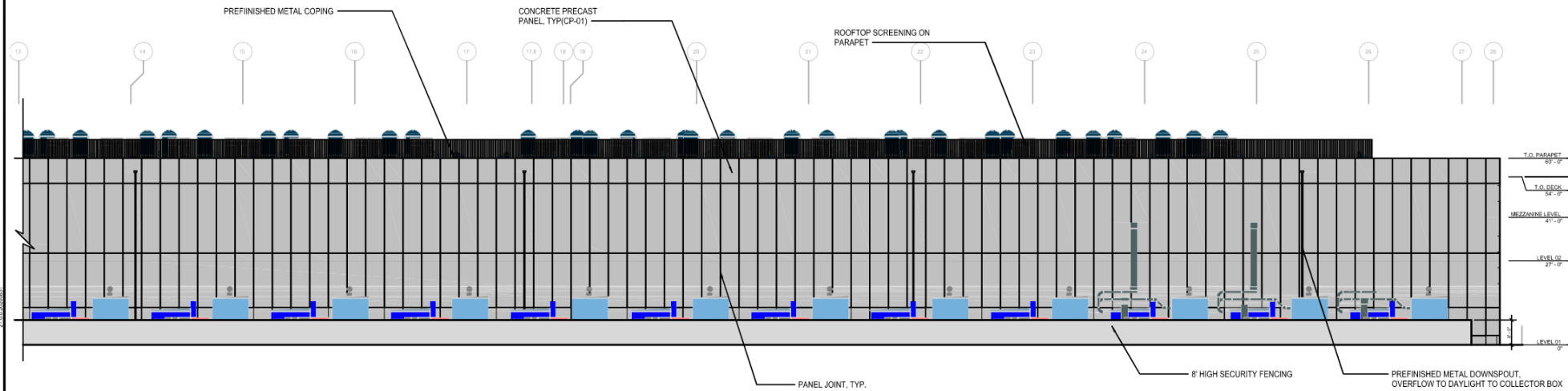
PLAN DATE 01-30-23 02-17-23 03-31-23		REVISIONS No. DATE	
Urban, Ltd. 7711 Oak River Temple New Market, MD 21788 Tel. 301.662.2200 Fax. 301.662.2521 www.urbanllc.com		Quantum Frederick 106 ALIGNED DATA CENTERS TYPE I SITE PLAN BUCKEYSTOWN 1ST ELECTION DISTRICT FREDERICK COUNTY, MARYLAND	
SITUATION: ALONG BALDWIN CREEK NEW MARKET ROAD AND NEW MARKET ROAD AND ALIGNED DATA CENTERS BUCKEYSTOWN 1ST ELECTION DISTRICT FREDERICK COUNTY, MARYLAND		SCALE: C.I.	
SHEET 12 OF 15B		FILE No. SP-2602	



21-13-20200501
28-13-2020220647



02 NORTH ELEVATION - 02
1/16" = 1'-0"



01 NORTH ELEVATION-01
1/16" = 1'-0"

PLAN DATE 01-30-23 02-01-23 03-17-23 03-31-23		REV. DATE 01-30-23 02-01-23 03-17-23 03-31-23	
Urban, Ltd. 7711 Lake River Triangle Arlington, Virginia 22201 Tel: 703.642.8251 Fax: 703.642.8251 www.urban3d.com		urban Rethinking Architecture. Making Buildings Last. Inspiring.	
SITUATED ALONG BALTIMORE CREEK NEW DESIGN ROAD AND ADAMSTOWN PARKING REGION TYPE I SITE PLAN BUCKEYSTOWN 1ST ELECTION DISTRICT FREDERICK COUNTY, MARYLAND		SCALE: C.I.	
QUANTUM FREDERICK LOT 106 ALIGNED DATA CENTERS TYPE I SITE PLAN BUCKEYSTOWN 1ST ELECTION DISTRICT FREDERICK COUNTY, MARYLAND		ELEVATIONS	
SHEET 13 OF 13B		FILE No. SP-2602	



RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan, as long as the Commission approves the modification requests. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until May 10, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions are met:

Planning Commission approval of the following modification requests from the Applicant:

1. Approval of a Parking Modification Request under §1-19-6.220(A)(2) to allow for 78 parking spaces, or 48 additional spaces than the required 30 spaces.
2. Approval of a Loading Space Modification Request under §1-19-6.210(D) to allow for 2 large loading spaces, or 44 fewer spaces than the required 46 large loading spaces.
3. Approval of a Bicycle Parking Modification Request under §1-19-6.220(H)(2) to allow for 3 bike racks, or 7 fewer bike racks than the required 10 bike racks.
4. Approval of a Lighting Modification Request under §1-19-6.500(G) to allow light spillage exceeding 0.5 foot-candles, up to a maximum of 1.0 foot-candle at the entrance on Quantum Place South.

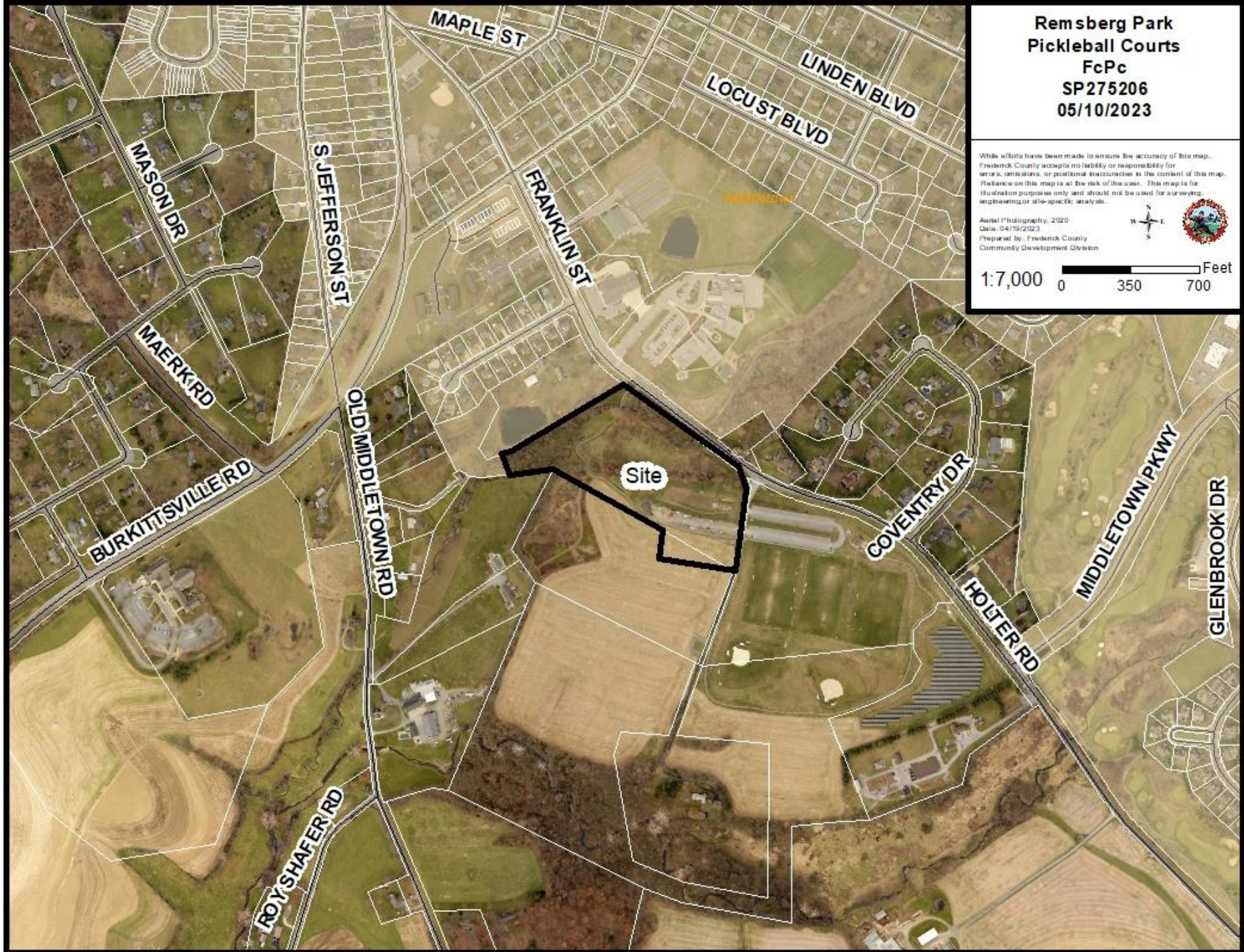
Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. A Final FRO Plan must be approved and FRO mitigation must be provided prior to lot recordation, prior to applying for grading or building permits, and prior to any earth disturbance or tree clearing activities.
3. Final Plat (PL275102) must be recorded prior to Site Plan approval.

Remsberg Park Pickleball Courts

Site Plan

The Applicant is requesting Site Plan approval to construct six (6) pickleball courts on a 13.75-acre property.



Remsberg Park
Pickleball Courts
FcPc
SP275206
05/10/2023

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Aerial Photography, 2020
Date: 04/02/2023
Prepared by: Frederick County
Community Development Division



1:7,000 0 350 700 Feet

**Remsberg Park
Pickleball Courts
FcPc
SP275206
05/10/2023**

Zoning

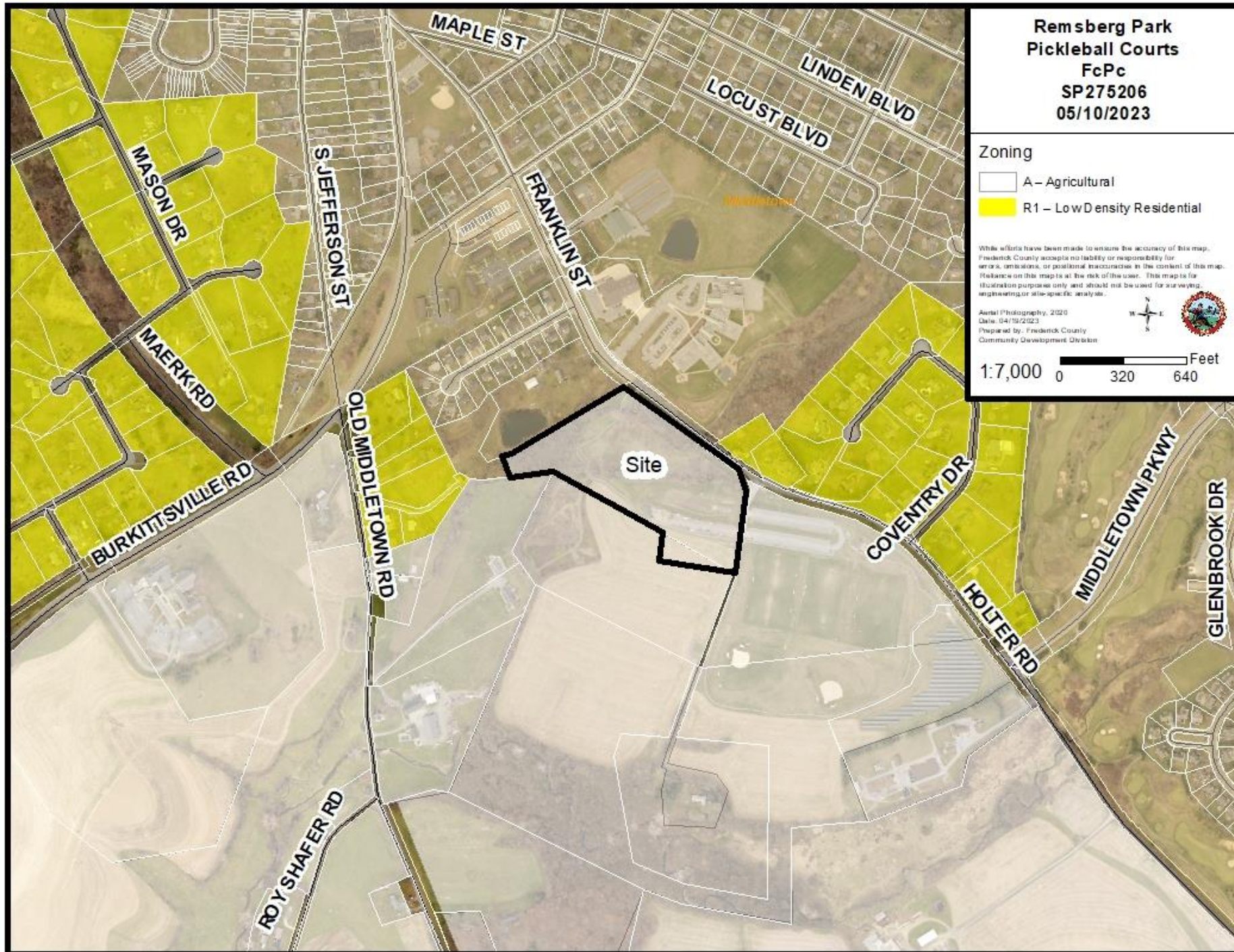
-  A – Agricultural
 R1 – Low Density Residential

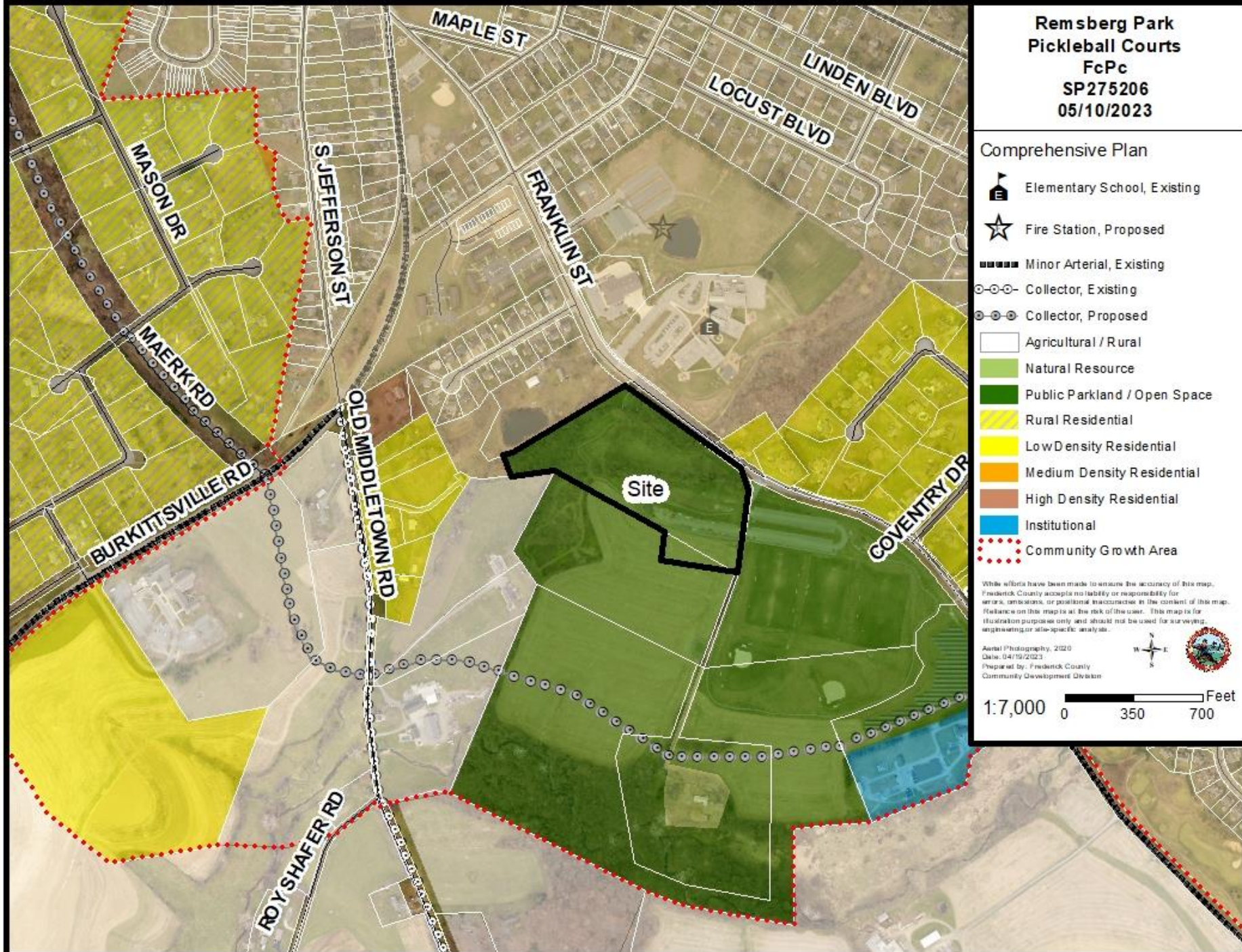
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Aerial Photography, 2020
Date: 04/19/2023
Prepared by: Frederick County
Community Development Division



1:7,000 0 320 640 Feet





**Remsberg Park
Pickleball Courts
FcPc
SP275206
05/10/2023**

Comprehensive Plan

- Elementary School, Existing
- Fire Station, Proposed
- Minor Arterial, Existing
- Collector, Existing
- Collector, Proposed
- Agricultural / Rural
- Natural Resource
- Public Parkland / Open Space
- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Institutional
- Community Growth Area

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Aerial Photography, 2020
Date: 04/19/2023
Prepared by: Frederick County
Community Development Division



1:7,000 0 350 700 Feet



ZONING DATA

ZONING	A (AGRICULTURAL)
SETBACKS	
FRONT-	40'
SIDE-	50'
REAR-	50'
MAX. BUILDING HEIGHT	30'

SITE DATA

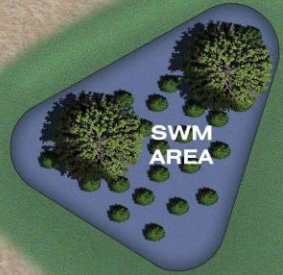
PARCEL	LOT 3- 12.81 ACRES ±
DISTURBED AREA	0.98 ACRES ±
EXISTING IMPERVIOUS	0 ACRES (WITHIN LOD)
TOTAL IMPERVIOUS	0.30 ACRES ± (PROPOSED)

EXISTING STORMWATER
MANAGEMENT AREA

EXISTING PARKING LOT
(44 SPACES)

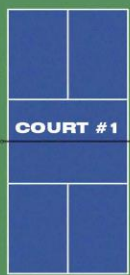
EXISTING PAVED WALKWAY

TO HOLTER ROAD



SWM
AREA

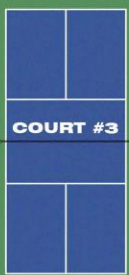
BIKE RACK



COURT #1



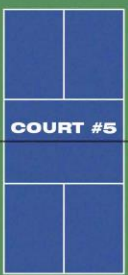
COURT #2



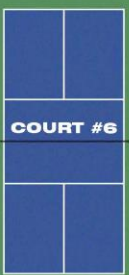
COURT #3



COURT #4



COURT #5



COURT #6

PERIMETER FENCING

EXISTING PAVED WALKWAY

RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until May 10, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following conditions are met:

Staff-proposed conditions of approval:

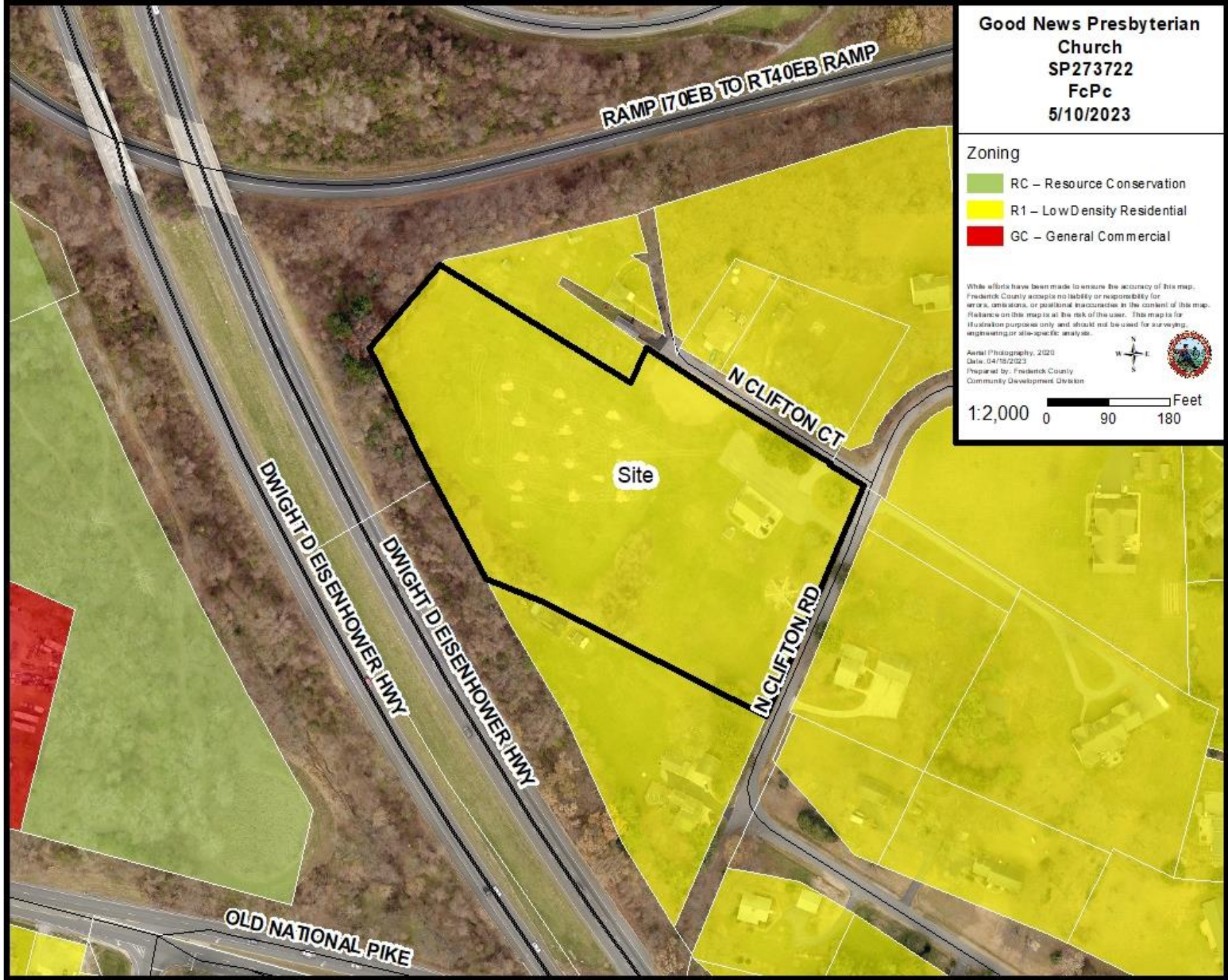
1. Address all agency comments as the plan proceeds through to completion.
2. The Addition Plat must be recorded prior to Site Plan approval.

Good News Presbyterian Church

Site Plan

The Applicant is requesting site plan approval to construct a 8,363 SF sanctuary and a covered outdoor seating area of 2,220 SF on a 5.72-acre lot to expand its existing 1,300 SF church on site.









GOOD NEWS PRESBYTERIAN CHURCH

Situated at 6938 North Clifton Road
 Liber 1022 Folio 515 and P.B. 15 P. 142
 Braddock Heights Election District No. 24
 Frederick County, Maryland

SITE PLAN RENDERING

Terra Solutions Engineering, LLC
 Commercial & Residential Land Planning and Engineering
 Frederick, MD 21703
 Phone: 301.378.8622 Email: terra@terraengineeringllc.com

Contract Purchaser
 Good News Presbyterian Church
 P.O. Box 1051
 Frederick, Maryland 21702
 Phone: (443) 623-5635

Scale & Signature
 PROJECT No.: 251
 DATE: SEPTEMBER 2022
 SCALE: 1" = 40'
 SHEET No. 1 of 1

RECOMMENDATION

Staff has no objection to conditional approval of this Site Development Plan. If the Planning Commission conditionally approves the Site Development Plan, the plan is valid for a period of three (3) years from the date of Planning Commission approval (valid through May 10, 2026).

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions met:

Modification per Section 1-19-6.220(A) to allow 18 additional paved parking spaces (totaling 68 rather than the 50 required). Also request 20 grass overflow spaces.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. Add a note to the site plan indicating that the future additions are not part of this site plan approval and will require site plan approval when proposed.
3. Note percentage of native plantings.
4. Add bike rack detail.
5. Note required rear and side yards are 61' due to the steeple height.
6. FRO plan must be approved prior to final site plan approval. Mitigation must be provided prior to applying for any permits.

Mountain View Lawn Service

Site Plan

Site Development Plan Approval for a Limited Landscape Contractor operation with a Caretaker Residence in the Agricultural Zoning District, on an existing 15.63-acre parcel located on Longs Mill Road.

**Mountain View Limited
Landscape Business
SP273508
FcPc
5/10/2023**

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Aerial Photography, 2020
Date: 04/18/2023
Prepared by: Frederick County
Community Development Division




1:3,000 0 150 300 Feet

Site

LONGS MILL RD

**Mountain View Limited
Landscape Business
SP273508
FcPc
5/10/2023**

Zoning

 A – Agricultural

 R1 – Low Density Residential

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Aerial Photography, 2020
Date: 04/18/2023
Prepared by: Frederick County
Community Development Division



1:3,000  Feet
0 130 260

Site

LONGS MILL RD

**Mountain View Limited
Landscape Business
SP273508
FcPc
5/10/2023**

Comprehensive Plan

⊖-⊖-⊖- Collector, Existing

□ Agricultural / Rural

▨ Rural Community

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Date: 04/19/2023
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Community Development Division



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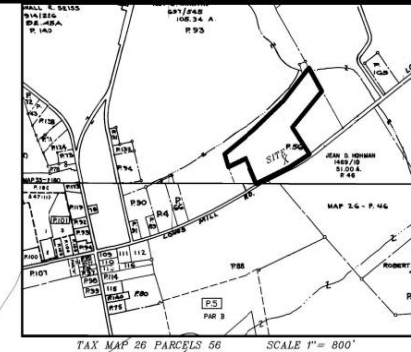
Site

LONGS MILL RD

DATUM: P.B. 83/35

SYMBOLS:
= OVERHEAD UTILITY LINES
= LELAND CYPRESS
= STREET TREE SEE CHART

LARRY P. HURLEY, JR., LORI A. LONG 1239*3/414
15.6371 Ac.
LOT 2 MARTIN'S DIVISION P.B. 83/35



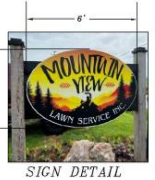
- General Notes:
- This Site Plan is for a proposed building to be used with the proposed limited landscape business on Lot 2 Martin's Division. The site consists of 15.63 Ac. of land of which 0.75 Ac. is used for the landscape business. The building will be solely occupied by the landscape business. Proposed building - 4,950 sq. ft.
 - ALL FEATURES SHOWN ARE EXISTING.
 - (A) A combined total of no more than 10,000 square feet of principal and accessory structures is permitted. When a limited landscape business contractor uses operations in conjunction with a retail or wholesale nursery use, all square footage provisions are calculated separately. (Exist. & PnB buildings - 6461 sq. ft.)
 - (B) Total impervious surface area for parking and storage of equipment exterior to any structures is limited to 40,000 square feet. When a limited landscape contractor uses operations in conjunction with a retail or wholesale nursery use, all square footage provisions are calculated separately.
 - (C) Lot size, setback and height requirements are the same as other natural resource uses in the A District.
 - (D) The parking requirements of §§ 1-19-6.200 through 1-19-6.230 of this code will be met; however, no parking area is permitted within the required yard setback.
 - (E) The maximum number of employees is 10.
 - (F) The subject property must have frontage and access on a paved public road with a minimum pavement width of 16 feet.
 - (G) Petroleum, flammable liquid, or hazardous substance storage tanks shall have 100% containment basin, or double-walled containers meet and a spill protection overflow alarm. This does not apply to prepure or natural gas tanks.
 - (H) The proposed use shall comply with § 1-6-50 (Wellhead Protection Ordinance) prior to site plan approval.
 - (I) All equipment and materials must be screened from adjacent preapproved public roads with plantings of evergreens, at least 5 feet in height, or a fence of equal height.
 2. Zoning "A" Agricultural
 3. Parking: Parking Required, 1 space per 2 Employees - 10 Employees = 5 Spaces; 1 space per company vehicle - 4 vehicles = 4 spaces
 4. Setbacks per 1-19-6.100: Front - 40', Side - 50', Rear - 50'
 5. Datum: Horizontal: P.B. 83/35; Vertical: Frederick County GIS NAVD 88; Contour Interval: 2'
 6. APFO: This development generates fewer than 6 new trips during the peak hour of the adjacent street relative to prior valid approvals and is therefore exempt from contribution to existing area road snow accounts. (§ 20-121(f)). There are no road snow accounts in the area.
 8. Office of Life Safety Notes: The property address shall be incorporated into the site sign.
 9. DUSWM Notes: Sewer and Water classification: No Planned Service is
 10. Health Department Notes: No well or septic within 100' except as shown
 11. Environmental Notes: No floodplain, wetlands, or steep slopes within the landscape business area; Soils: PnB - Penn. Silt - Readington, KaC - Kinesville, RoA - Rowland; Disturbed area = 0 Sq. Ft.
 12. Landscaping: 9 Existing Leland Cypress, shown; 7 Leland Cypress Proposed (Minimum 5' in height)
 13. Lighting notes: None proposed
 14. Sign (EXISTING): (1) 24 sq. ft. Jan. Height 20'
 15. Premises identification shall be compliant with Frederick County ordinance 05-01-302 and shall be incorporated in any site sign.
 16. FRO: A Combined Preliminary Find Forest Conservation Plan has been submitted. FRO mitigation will be provided by the transfer of forest banking credits as required per the FRO Plan once approved.
 17. Work vehicles or equipment may be stored in rear parking area, no materials will stored outside of the buildings/mulch pits.
 18. On January 24th 2022 Agricultural Preservation approved the business in the Agricultural Preservation IPP area.

OWNER:
LARRY HURLEY
8920 LONGS MILL ROAD
ROCKY RIDGE, MD. 21778

SURVEY & PLAT BY:
R.F. GAUSS & ASSOC., INC.
PROFESSIONAL LAND SURVEYORS
103 E. MAIN ST., P.O. BOX 128
EMMITSBURG, MARYLAND 21727
301-447-2222 FAX 301-447-3158

I, LARRY P. HURLEY, JR., OWNER/DEVELOPER OF THIS PROPERTY HAVE CAREFULLY REVIEWED THIS SITE/PRELIMINARY PLAN AND CONFIRM OUR INTENT TO CONSTRUCT/INSTALL PROPOSED SITE IMPROVEMENTS SHOWN HEREON. THIS SITE PLAN REPRESENTS ALL PURPOSE SITE IMPROVEMENTS AND IT IS UNDERSTOOD THAT ANY CHANGES TO THIS PLAN OR ADDITIONAL IMPROVEMENTS REQUIRED AS A RESULT OF CONTINUED ENGINEERING DESIGNS, CHANGES TO SITE CONDITIONS, OR ADJUSTMENTS TO THE PROJECT PROGRAM MAY REQUIRE A REVISION TO THIS PLAN. THIS PLAN WILL BE USED DURING THE FINAL SITE INSPECTION FOR THE USE AND OCCUPANCY PERMIT, AND AS SUCH, SIGNIFICANT DEVIATIONS FROM THIS PLAN MAY RESULT IN A VIOLATION OF THE CONDITIONS OF THE APPROVED SITE/PRELIMINARY PLAN AND JEOPARDIZE THE U&O PERMIT.

DATE: JAMES E. GAUSS P.L.S. # 446



SITE PLAN
FOR LIMITED LANDSCAPE BUSINESS
ON
LOT 2 MARTIN'S DIVISION
PREVIOUSLY RECORDED IN P.B. 76/54 & 83/35
SITUATED AT #8920 LONGS MILL ROAD
CREAGERSTOWN ELECTION DISTRICT # 4
FREDERICK COUNTY, MARYLAND
THURMONT PLANNING REGION
DATE: 7 JULY, 2022 SCALE: 1" = 30'
PLAT NO. 26 P-56 ACCT# 04-159369

File # M-2589
A/P # SP273508

RECOMMENDATION

Staff has no objection to conditional approval of the Mountain View Lawn Service Site Development Plan. If the Planning Commission conditionally approves the site development plan, the plan is valid for a period of three (3) years from the date of Planning Commission approval, or until May 10, 2026.

Based upon the findings and conclusions as presented in the staff report the application meets or will meet all applicable zoning, APFO, and FRO requirements once the following modification is approved and the conditions are met:

Modification 1-19-6.220(A(3)) to allow a reduction of 12 spaces of the 21 spaces required, totaling 9 spaces.

Staff-proposed conditions of approval:

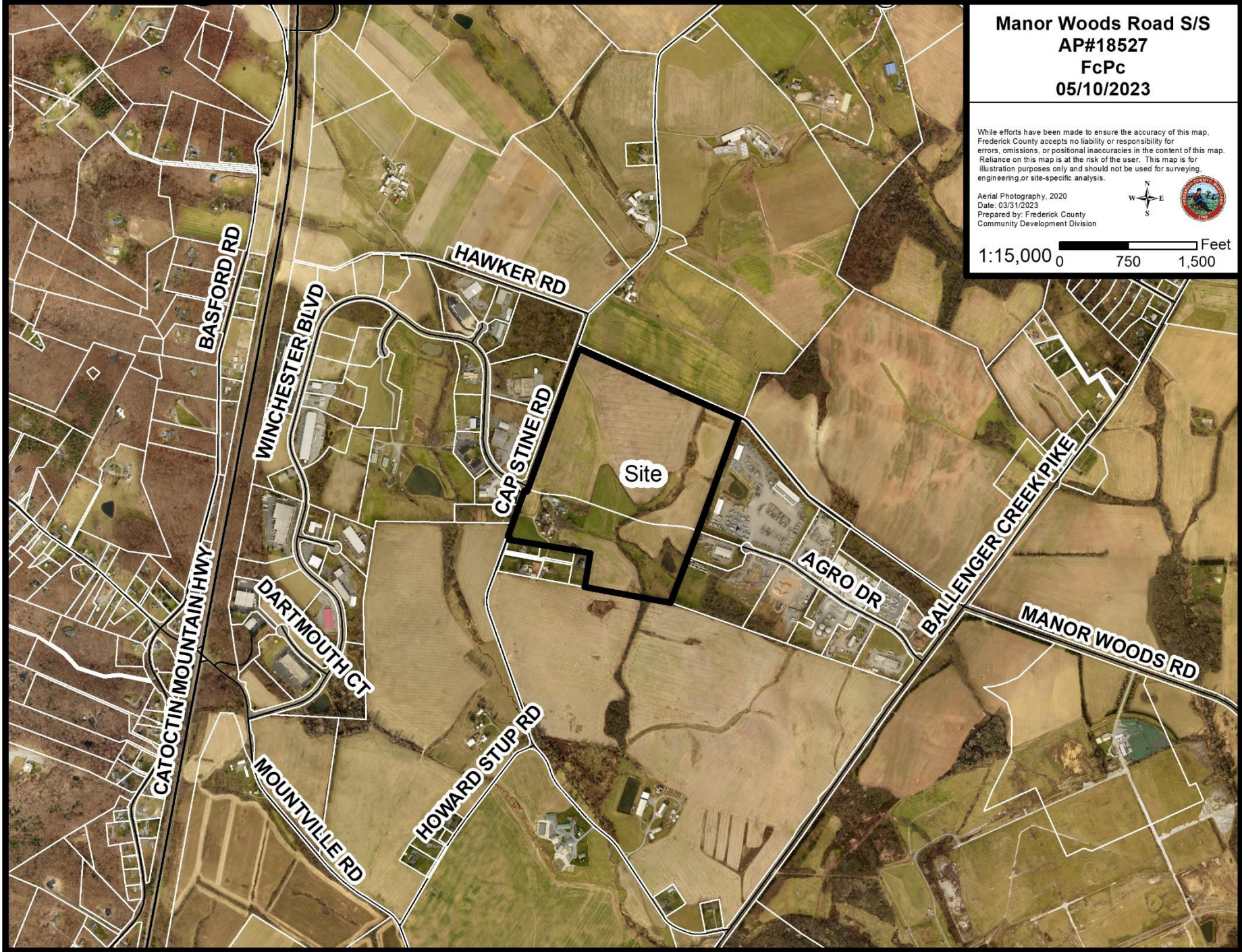
1. Address all agency comments as the plan proceeds through to completion.
2. Add additional screening to the east of the mulch pits.
3. Note percentage of canopy coverage provided.
4. Indicate loading space on plan.
5. Gain final approval of the Health Department.
6. FRO Plan and FRO mitigation must be approved prior to Site Plan.

Noffsinger Farm Property

APFO Letter of Understanding

The Applicant is requesting a 10-year APFO approval for up to 176 am and 170 pm weekday peak hour driveway trips for a future General Industrial development.

Located at the southeast corner of the intersection of Manor Woods Road and Cap Stine Road.



Manor Woods Road S/S
AP#18527
FcPc
05/10/2023

While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or positional inaccuracies in the content of this map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering, or site-specific analysis.


Aerial Photography, 2020
Date: 03/31/2023
Prepared by: Frederick County
Community Development Division



1:15,000 0 750 1,500 Feet

Manor Woods Road S/S
AP#18527
FcPc
05/10/2023

Comprehensive Plan

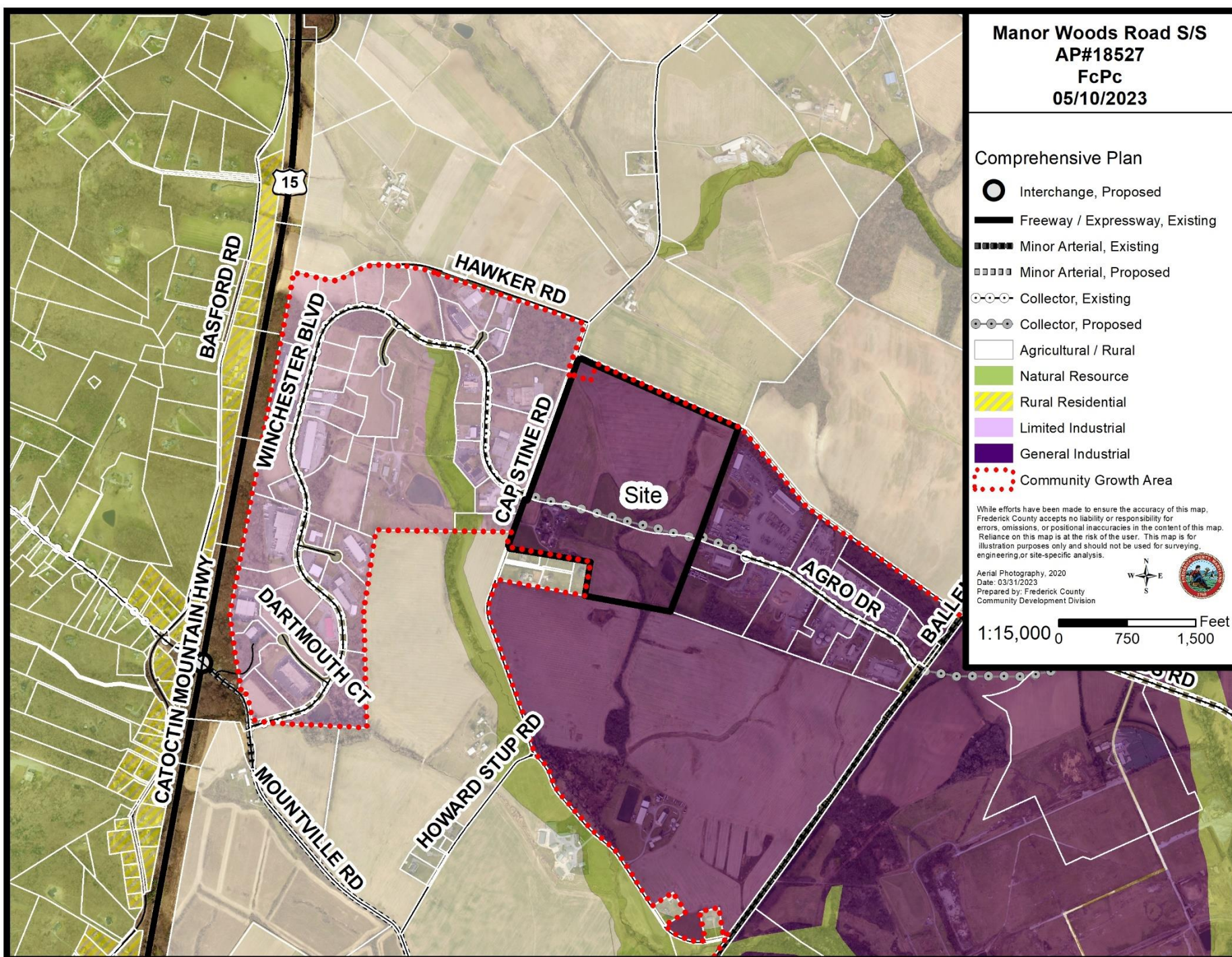
-  Interchange, Proposed
-  Freeway / Expressway, Existing
-  Minor Arterial, Existing
-  Minor Arterial, Proposed
-  Collector, Existing
-  Collector, Proposed
-  Agricultural / Rural
-  Natural Resource
-  Rural Residential
-  Limited Industrial
-  General Industrial
-  Community Growth Area

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Aerial Photography, 2020
Date: 03/31/2023
Prepared by: Frederick County
Community Development Division



1:15,000  Feet
0 750 1,500



RECOMMENDATION

Staff finds that this LOU satisfies the requirements identified in the APFO and its Guidelines. Staff has no objection to the approval of this APFO application, LOU, or the modification request. If the Planning Commission approves the APFO application and LOU, the APFO approval is valid for a period of ten (10) years from the date of Planning Commission approval (valid through May 10, 2033).