

Frederick County Planning Commission

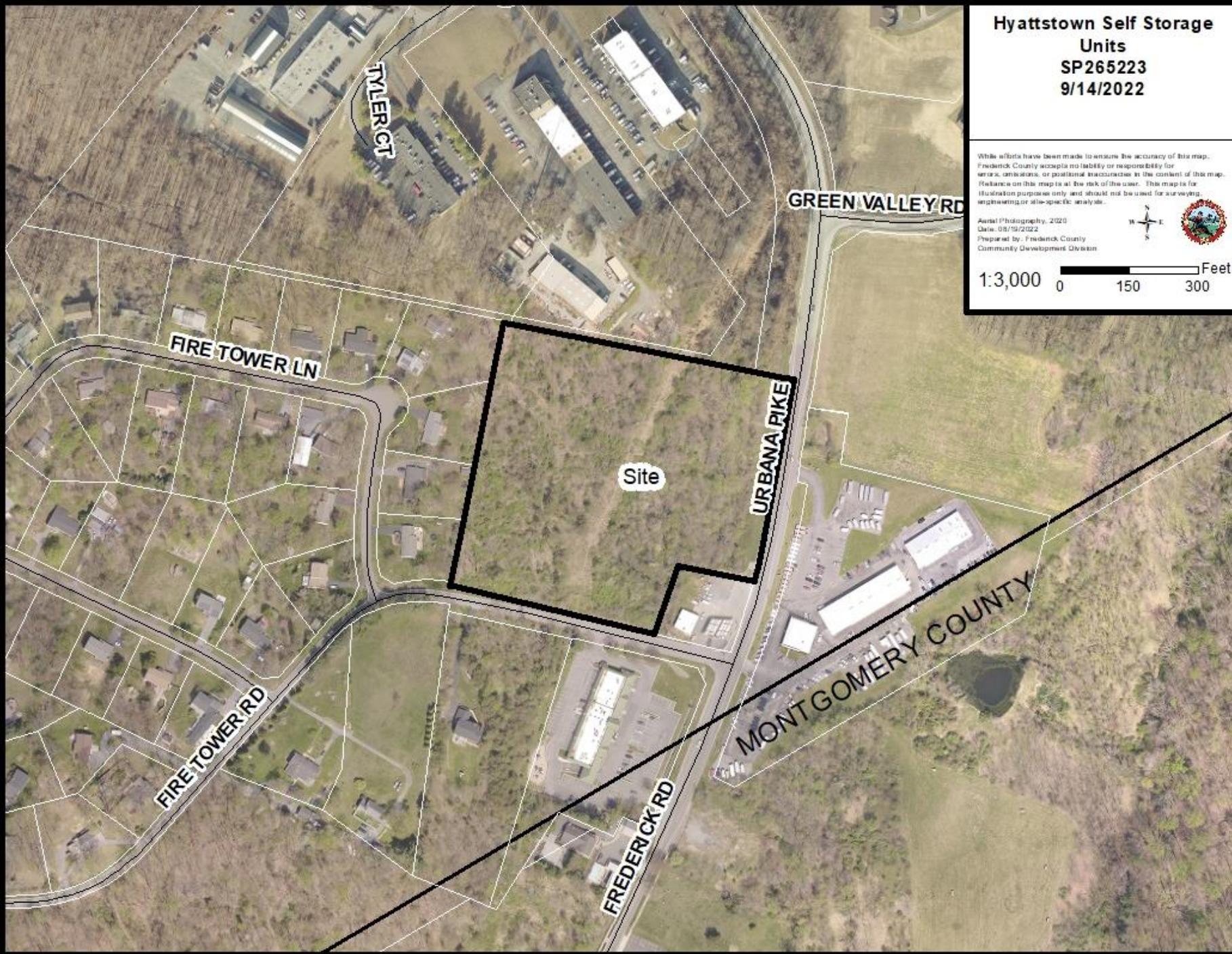


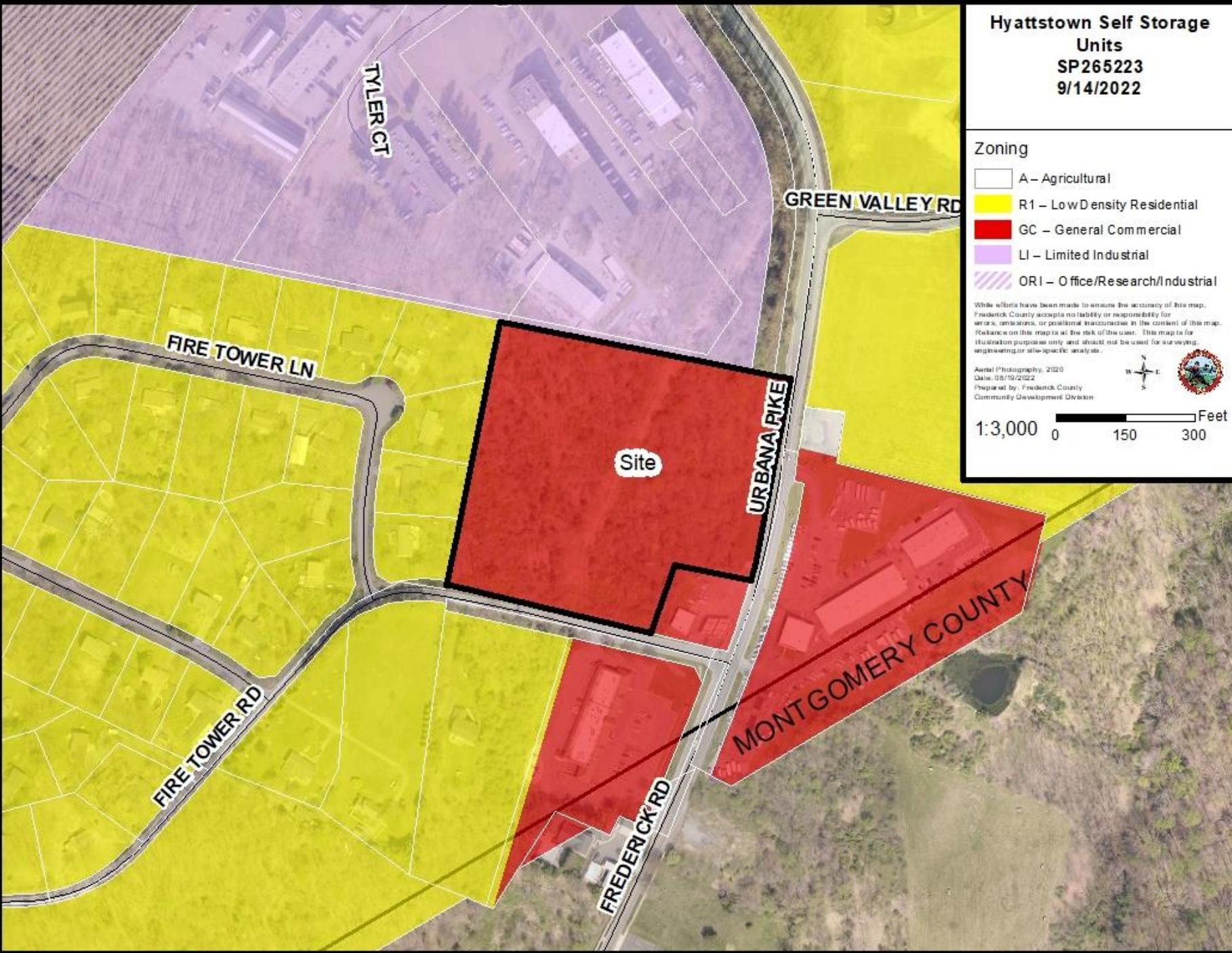
May 10, 2023

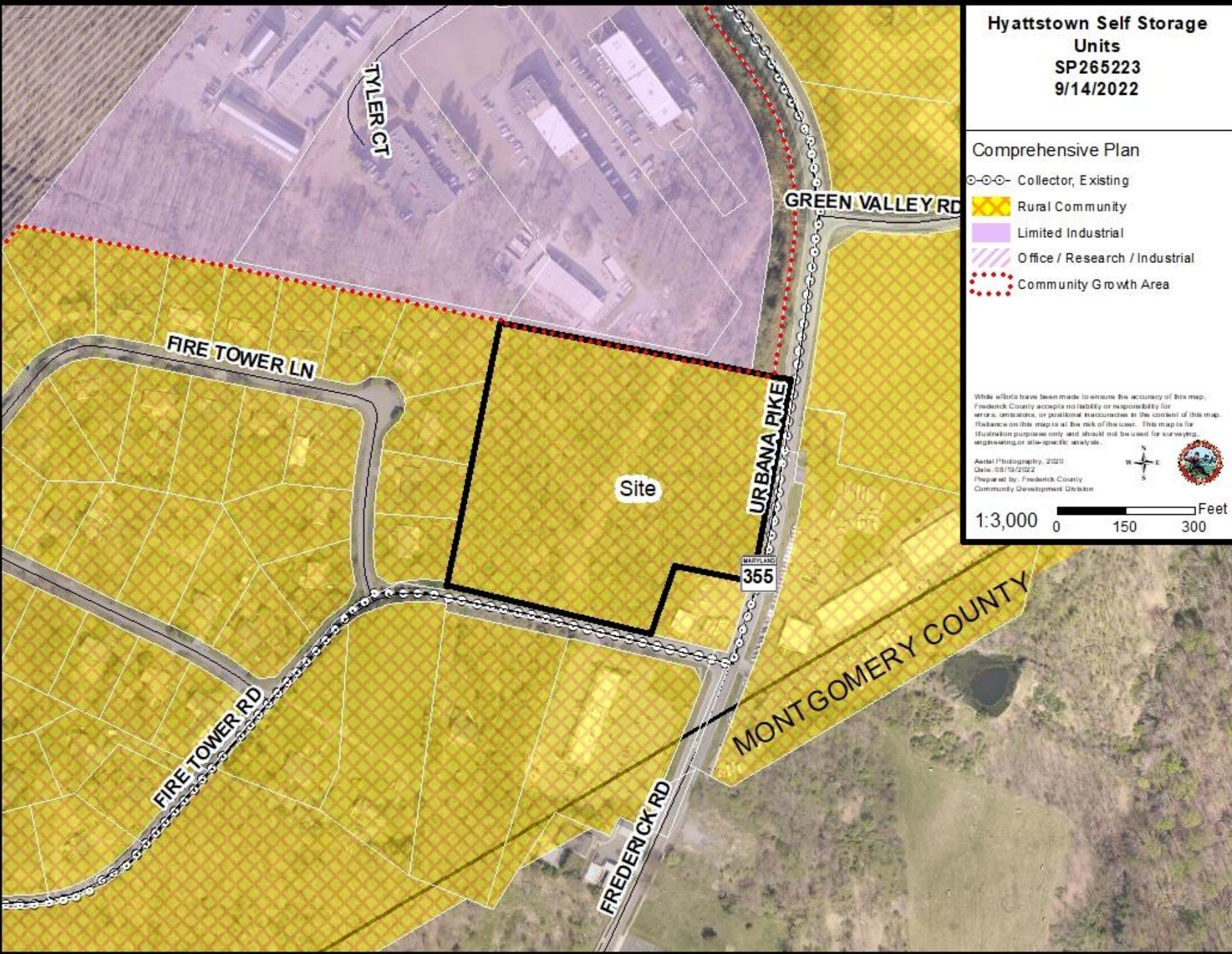
Hyattstown Self-Storage Units/Complex

Site Plan

The Applicant is requesting Site Plan approval to construct a self-storage unit facility on an 8.02-acre property.



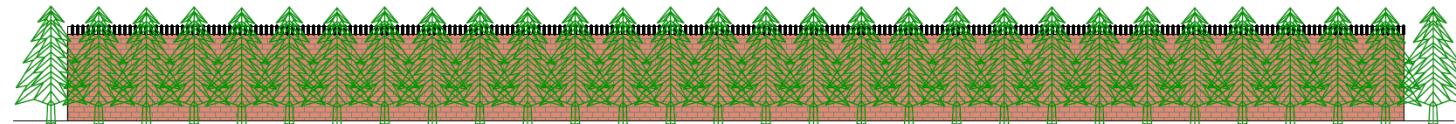




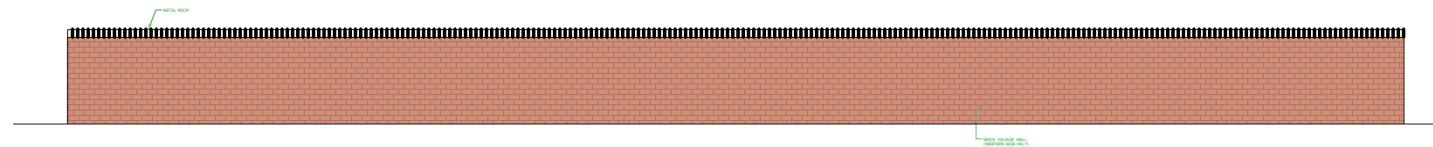


erra Solutions Engineering, LLC
Commercial & Residential Land Planning and Engineering
101 University Street, Suite 2103
Seattle, WA 98101-3704 | fax: 206-467-0542 | email: terra.solutionsengineering@verizon.net

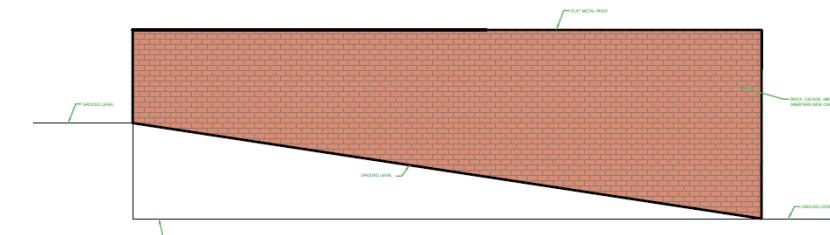
Scale & Signature
PROJECT No.: 26
DATE: APRIL 2021
SCALE: 1" = 40'
SHEET No. 3 of



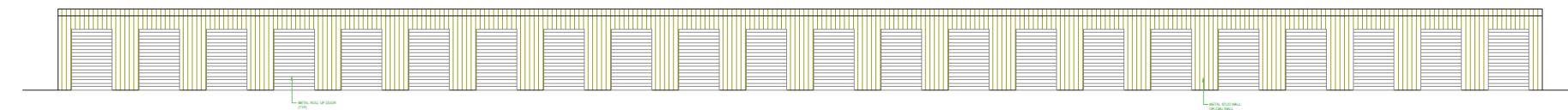
BUILDING #19 ELEVATION w/ SCREENING CONCEPT



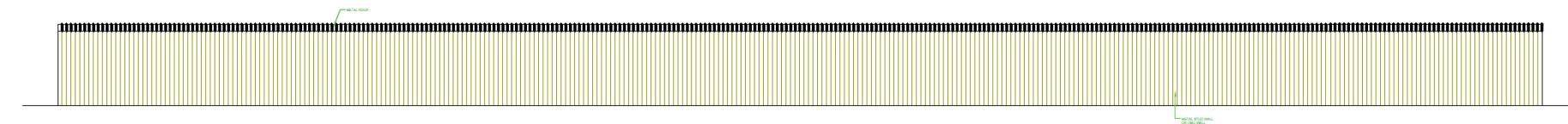
BUILDING #19 ELEVATION - LOOKING EAST



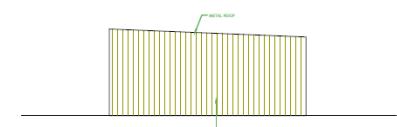
BUILDINGS #11 & 13 SIDE ELEVATION - LOOKING EAST



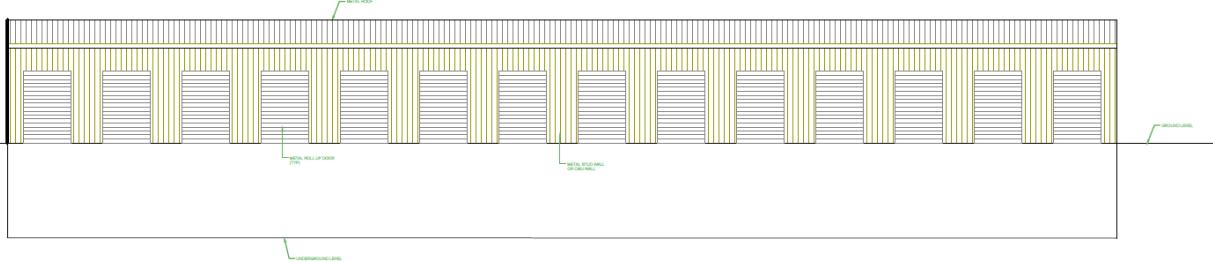
BUILDING #4 ELEVATION - LOOKING SOUTHEAST



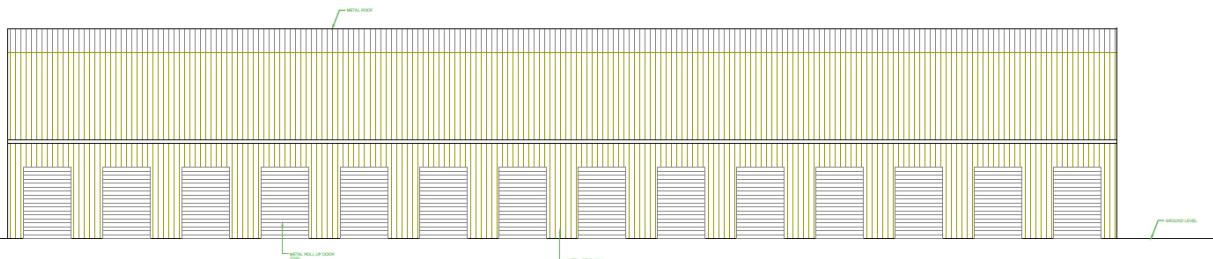
BUILDING #4 ELEVATION - LOOKING NORTHWEST
FROM MARYLAND ROUTE 355



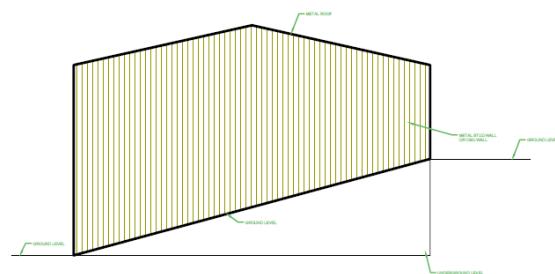
BUILDING #4 SIDE ELEVATION - LOOKING NORTHEAST



BUILDING #2 ELEVATION - LOOKING SOUTHEAST

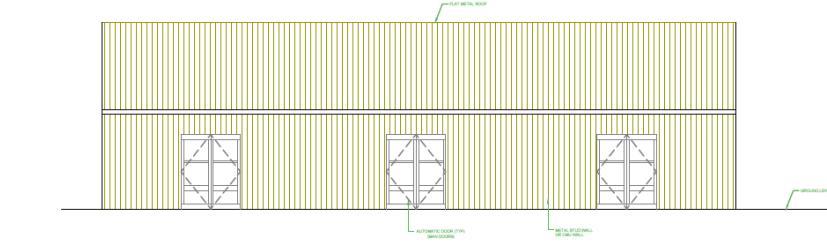


BUILDING #2 ELEVATION - LOOKING NORTHWEST
TOWARDS MARYLAND ROUTE 355

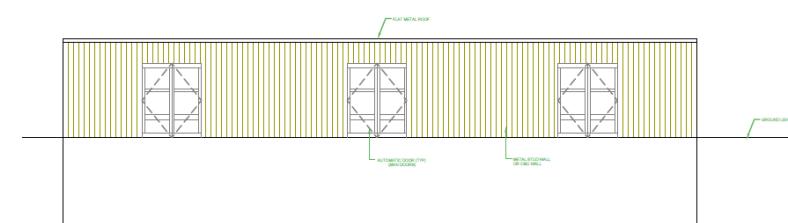


BUILDING #2 SIDE ELEVATION - LOOKING SOUTHWEST

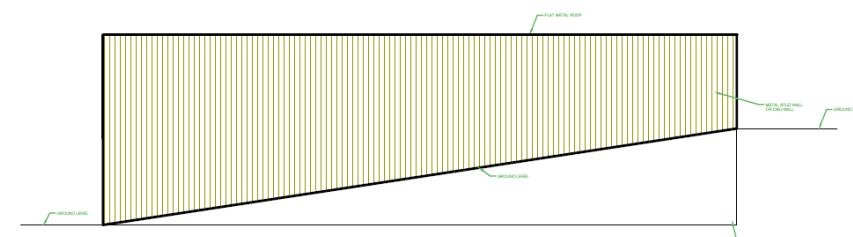
ELEVATION VIEW
SCALE: 1/16" = 1'-0"



BUILDING #10 ELEVATION - LOOKING NORTH
ADJACENT to FIRE TOWER ROAD



BUILDING #10 ELEVATION - LOOKING SOUTH



BUILDINGS #10 & 12 SIDE ELEVATION - LOOKING WEST

RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan, as long as the Commission approves the modification request. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until May 10, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modification is granted and conditions are met:

Planning Commission approval of the following modification request from the Applicant:

1. Approval of a modification to allow for an alternate on-site location for Street Trees per Section 1-19-6.400(A)(2) of the Zoning Ordinance.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. The Preliminary/Final FRO plan must be approved prior to Site Plan approval. FRO mitigation must be provided prior to plat recordation, prior to applying for grading permits or building permits, whichever is applied for first.

Aligned Data Centers
Quantum Frederick Lot 106
Site Plan

The Applicant is requesting Site Plan approval to construct a 450,000 SF gross floor area Critical Digital Infrastructure Facility on a 74.89-acre property

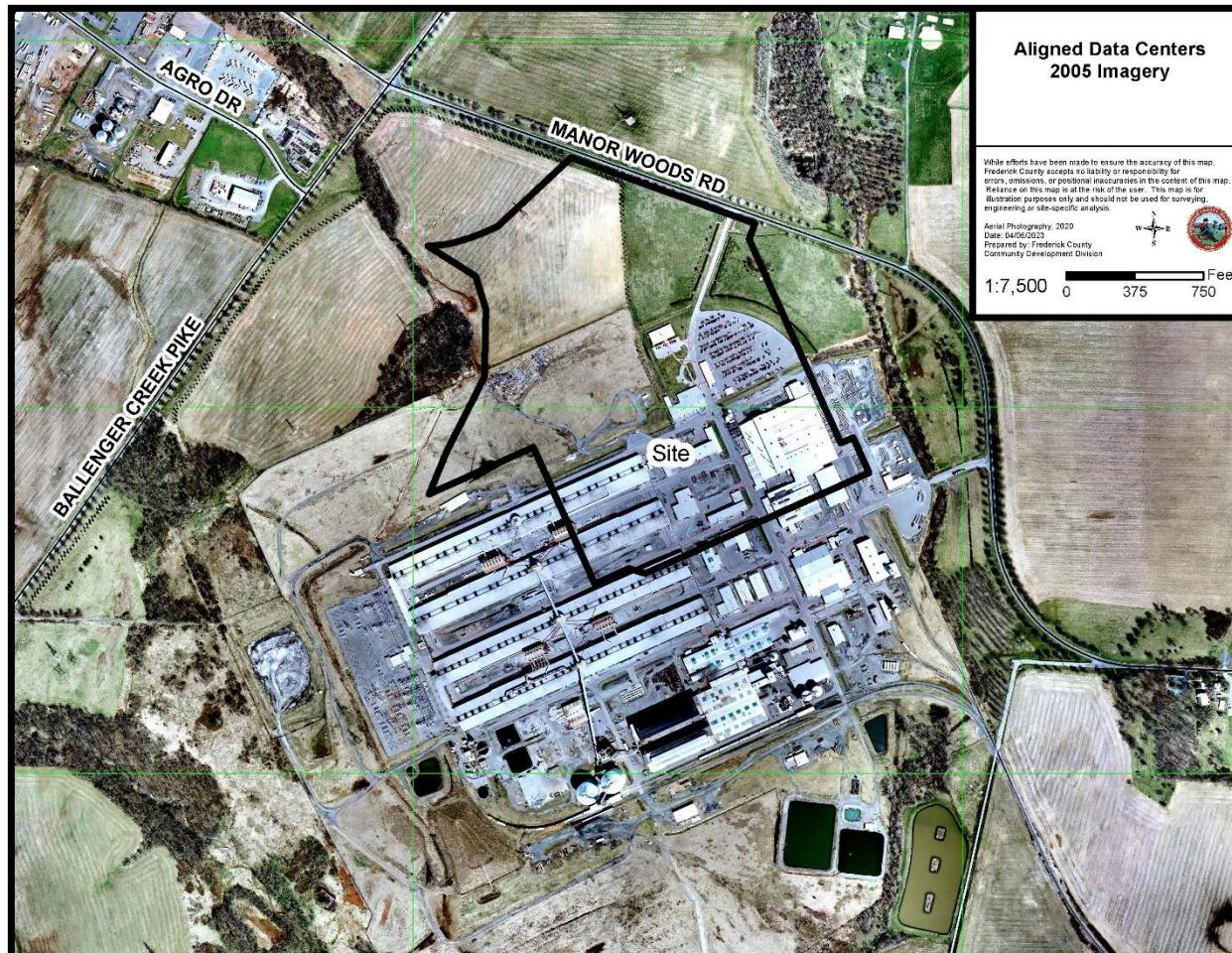
2008 Aerial



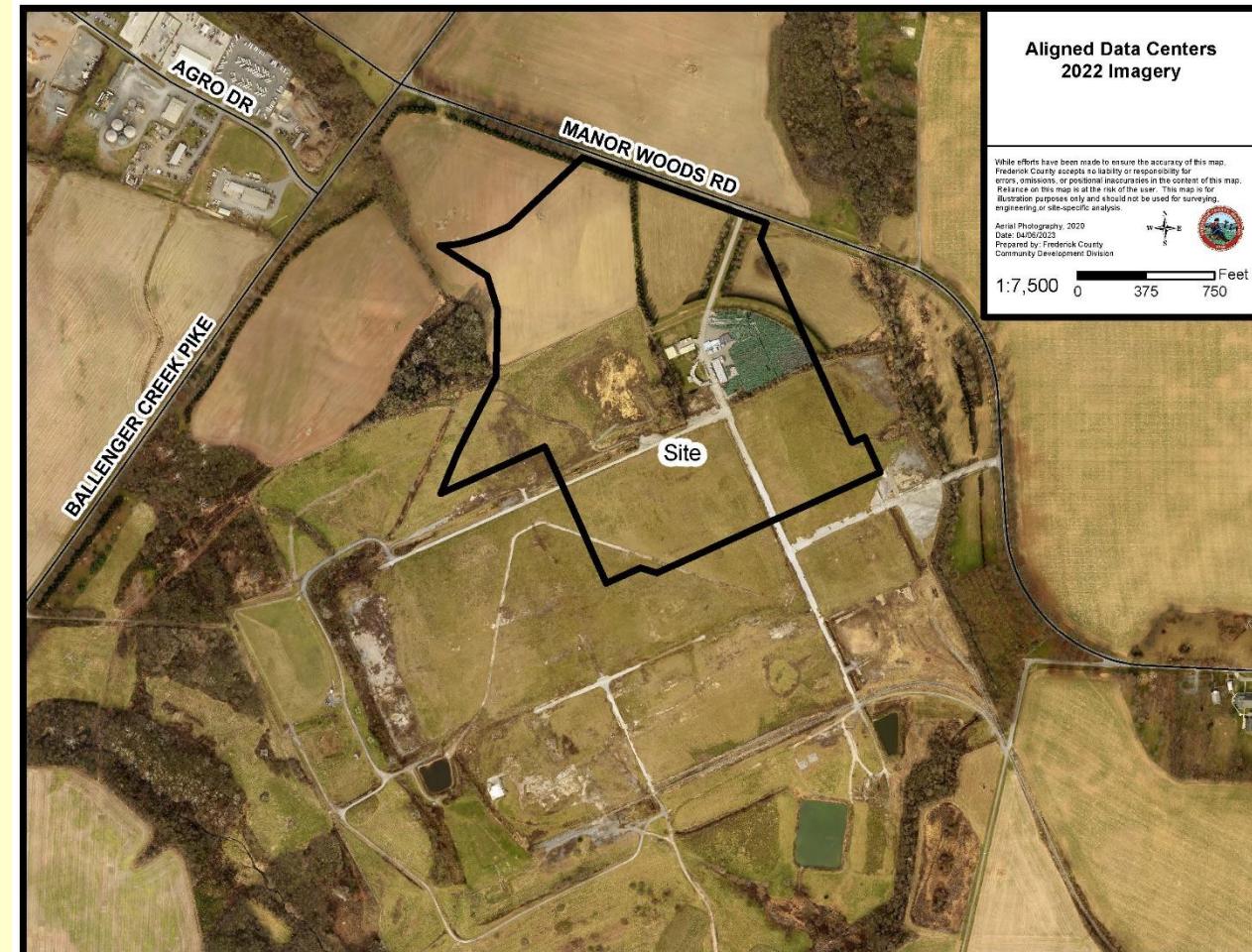
2021 Aerial



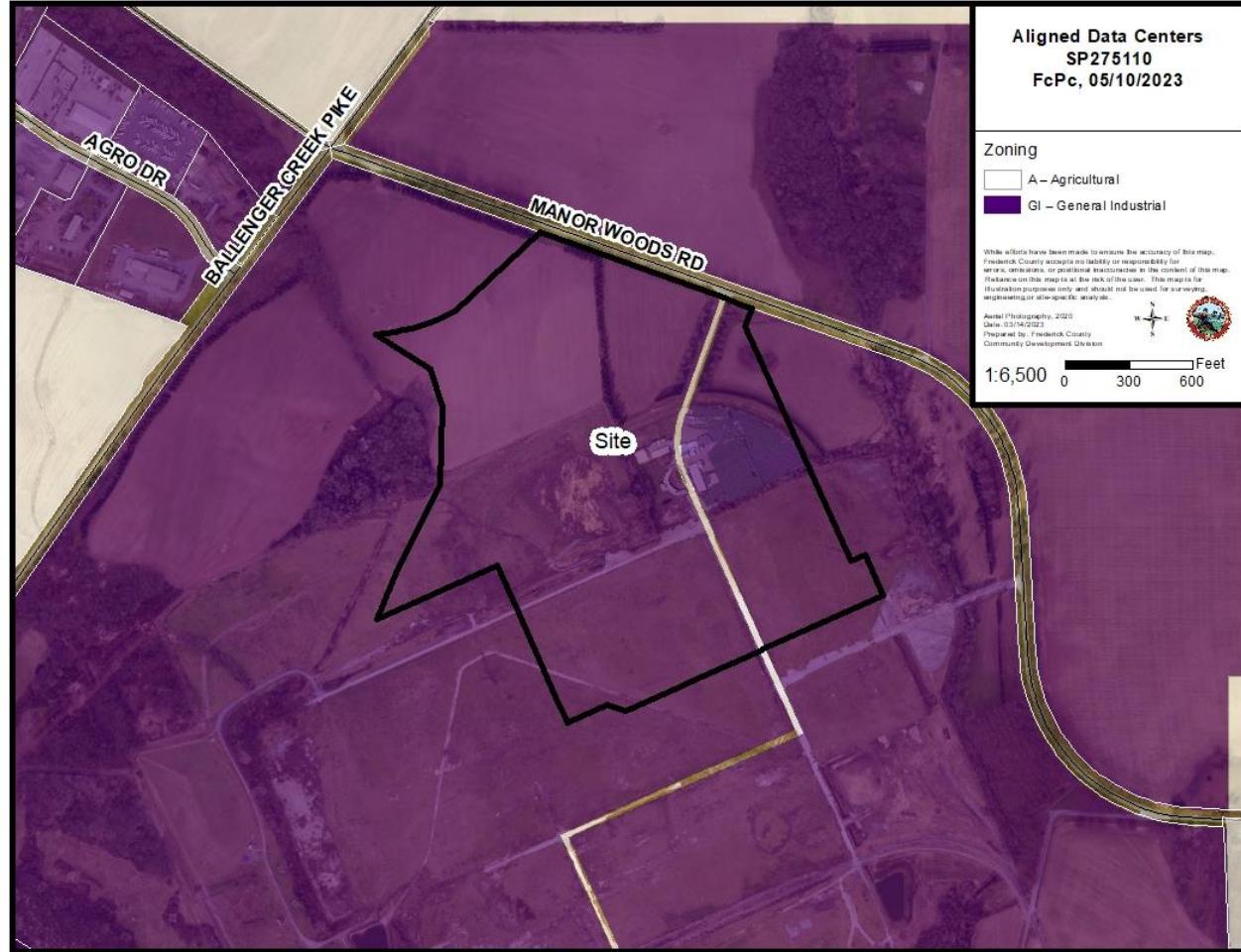
2005 Aerial



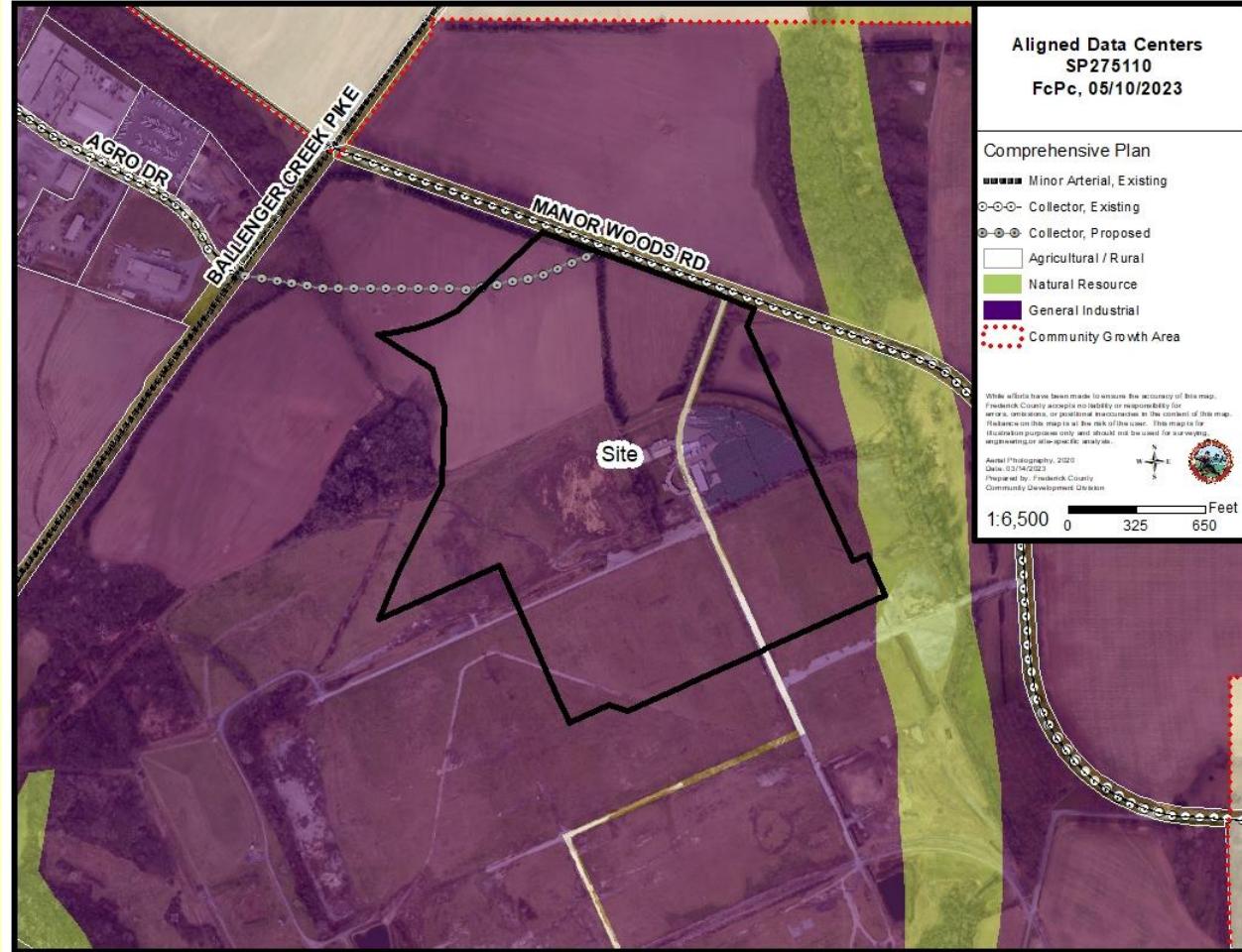
2022 Aerial



Zoning Map



Comprehensive Plan





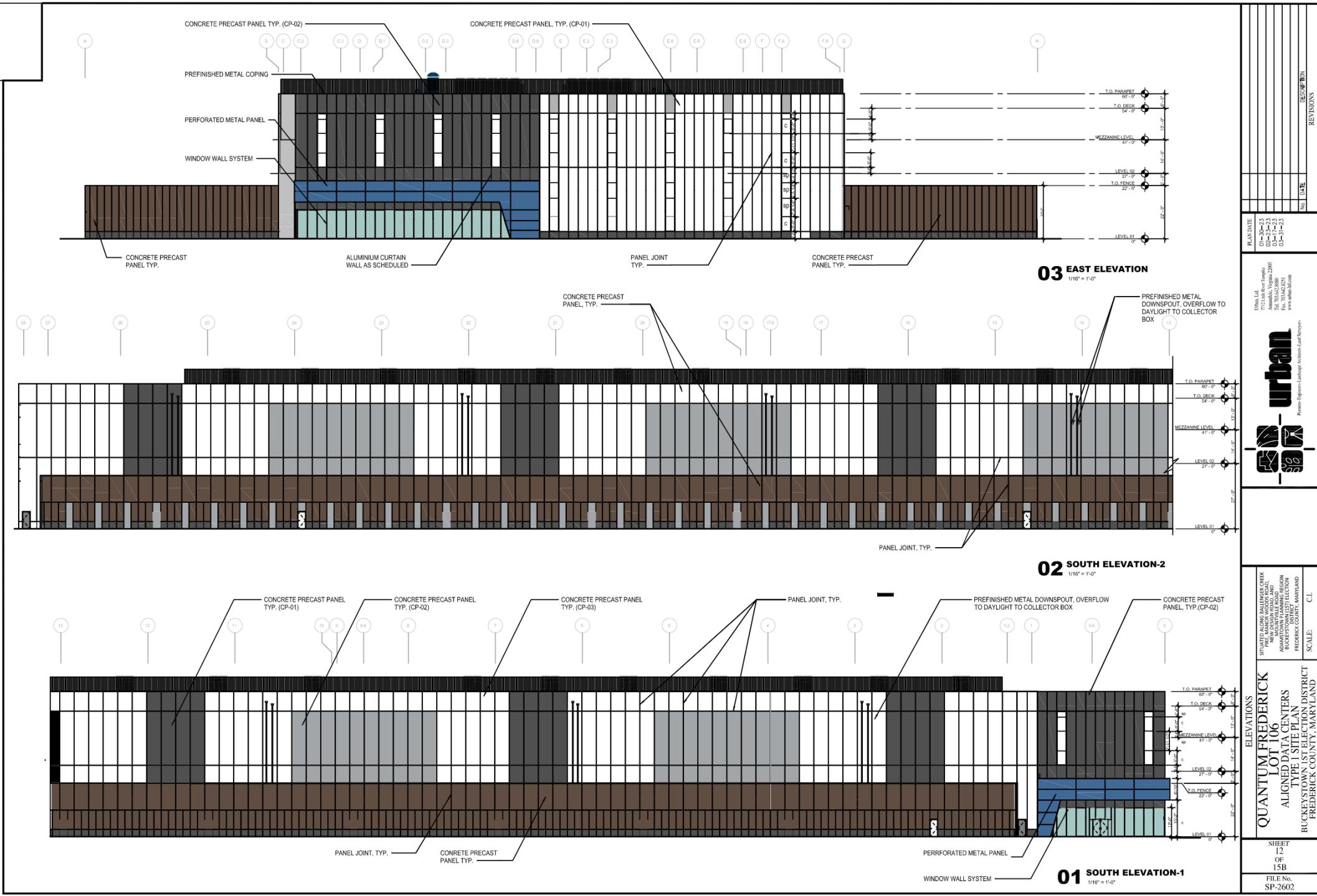
Illustrative Rendering - Phase 1

QUANTUM FREDERICK - LOT 106

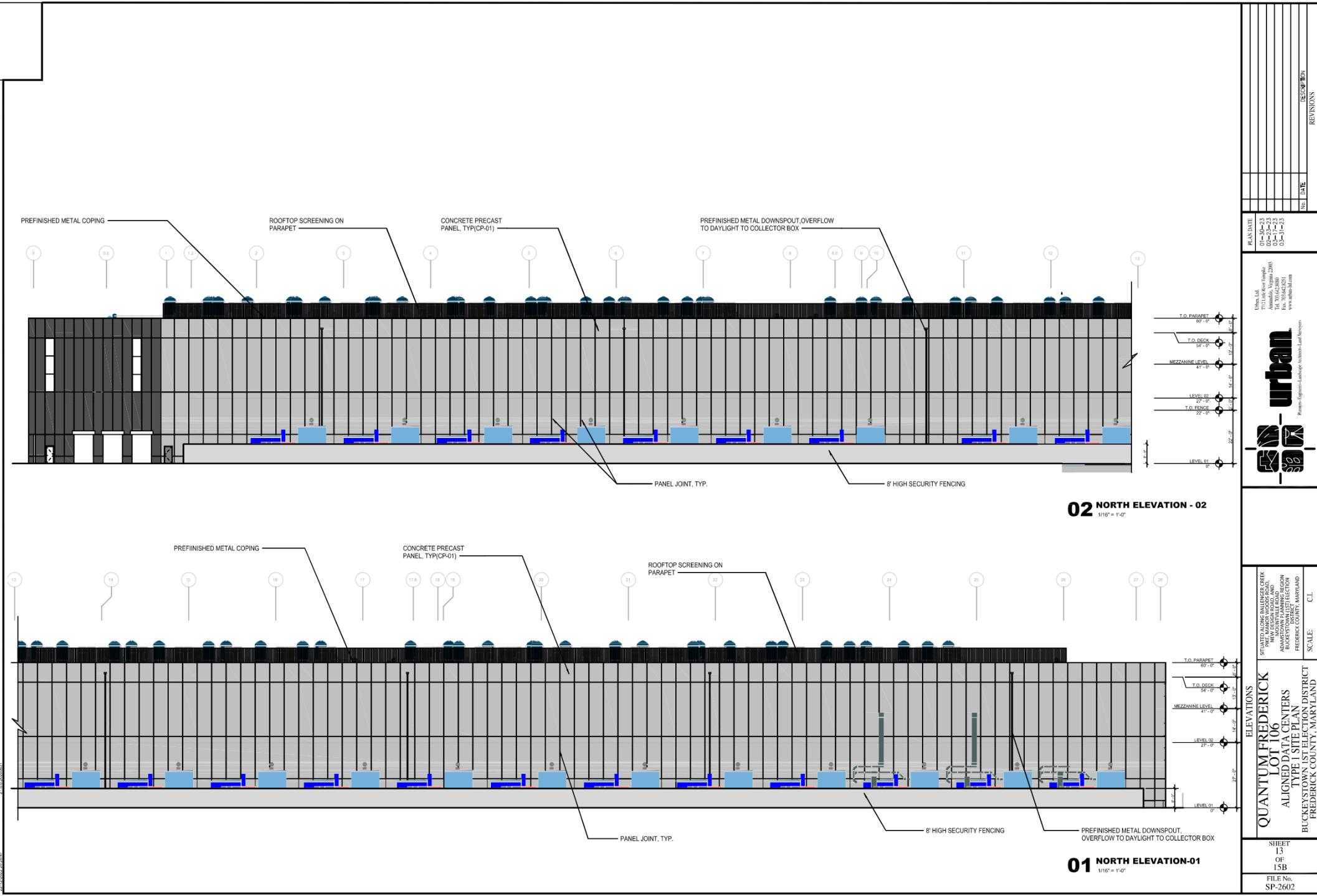
ALIGNED DATA CENTERS
Frederick County, Maryland













RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan, as long as the Commission approves the modification requests. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until May 10, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions are met:

Planning Commission approval of the following modification requests from the Applicant:

1. Approval of a Parking Modification Request under §1-19-6.220(A)(2) to allow for 78 parking spaces, or 48 additional spaces than the required 30 spaces.
2. Approval of a Loading Space Modification Request under §1-19-6.210(D) to allow for 2 large loading spaces, or 44 fewer spaces than the required 46 large loading spaces.
3. Approval of a Bicycle Parking Modification Request under §1-19-6.220(H)(2) to allow for 3 bike racks, or 7 fewer bike racks than the required 10 bike racks.
4. Approval of a Lighting Modification Request under §1-19-6.500(G) to allow light spillage exceeding 0.5 foot-candles, up to a maximum of 1.0 foot-candle at the entrance on Quantum Place South.

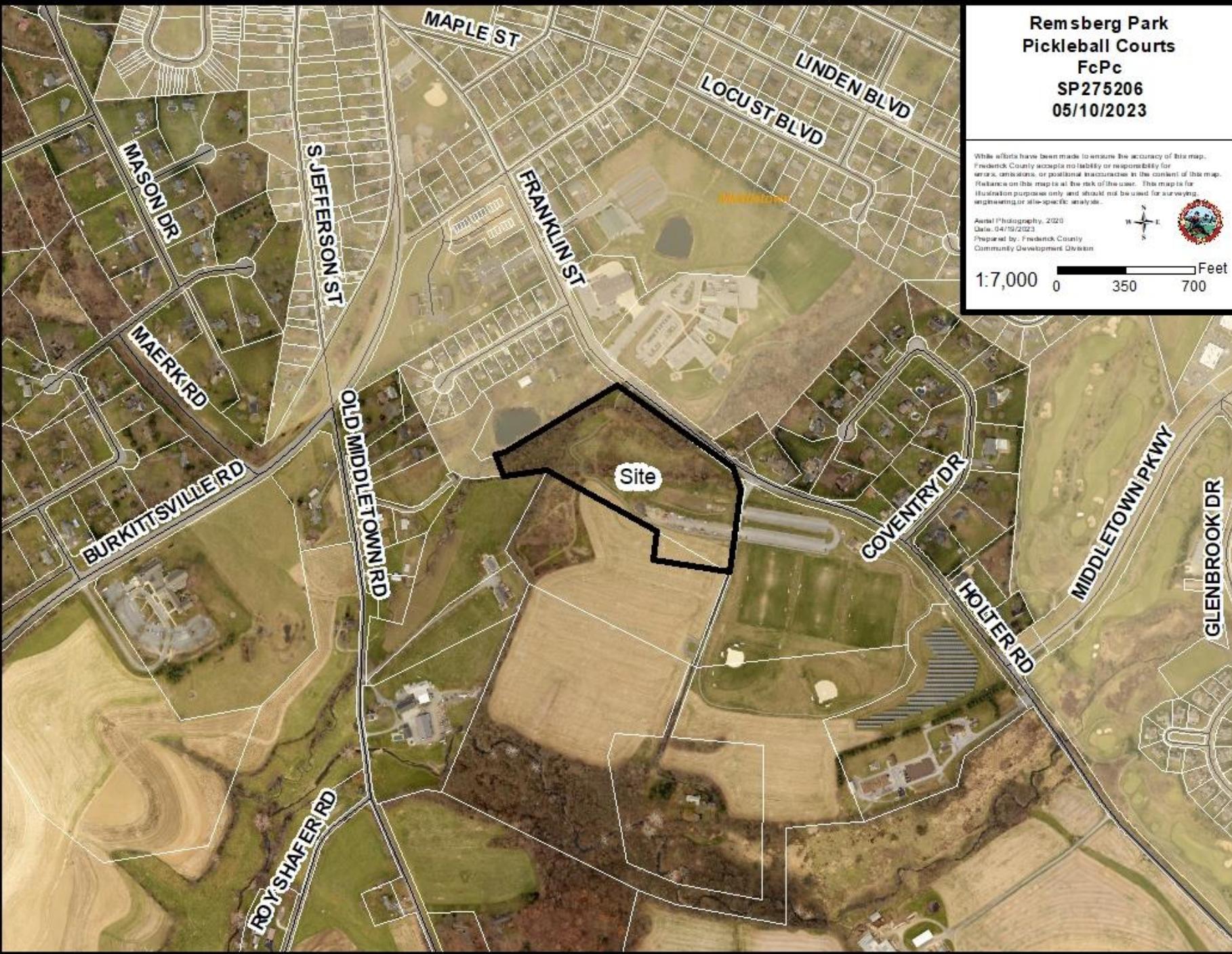
Staff-proposed conditions of approval:

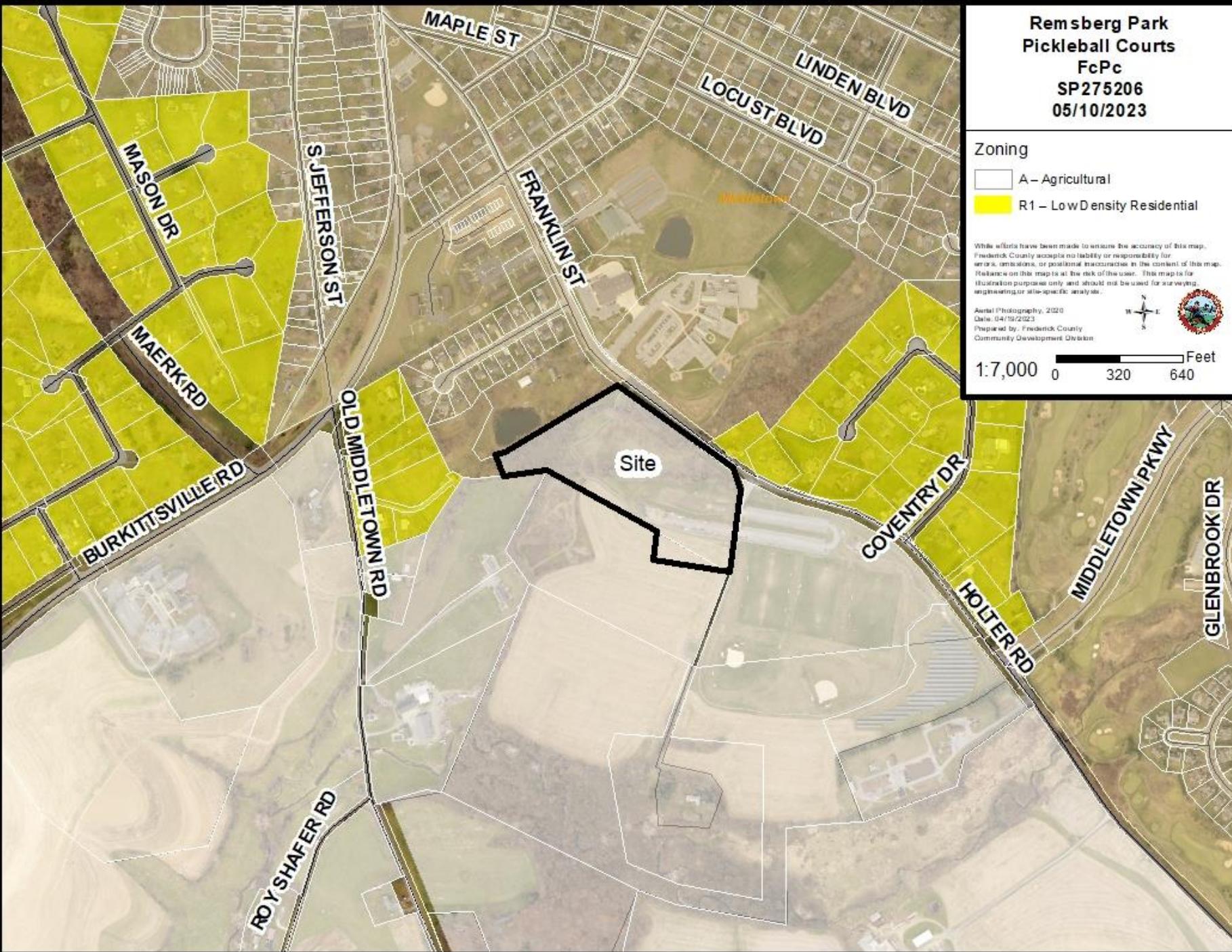
1. Address all agency comments as the plan proceeds through to completion.
2. A Final FRO Plan must be approved and FRO mitigation must be provided prior to lot recordation, prior to applying for grading or building permits, and prior to any earth disturbance or tree clearing activities.
3. Final Plat (PL275102) must be recorded prior to Site Plan approval.

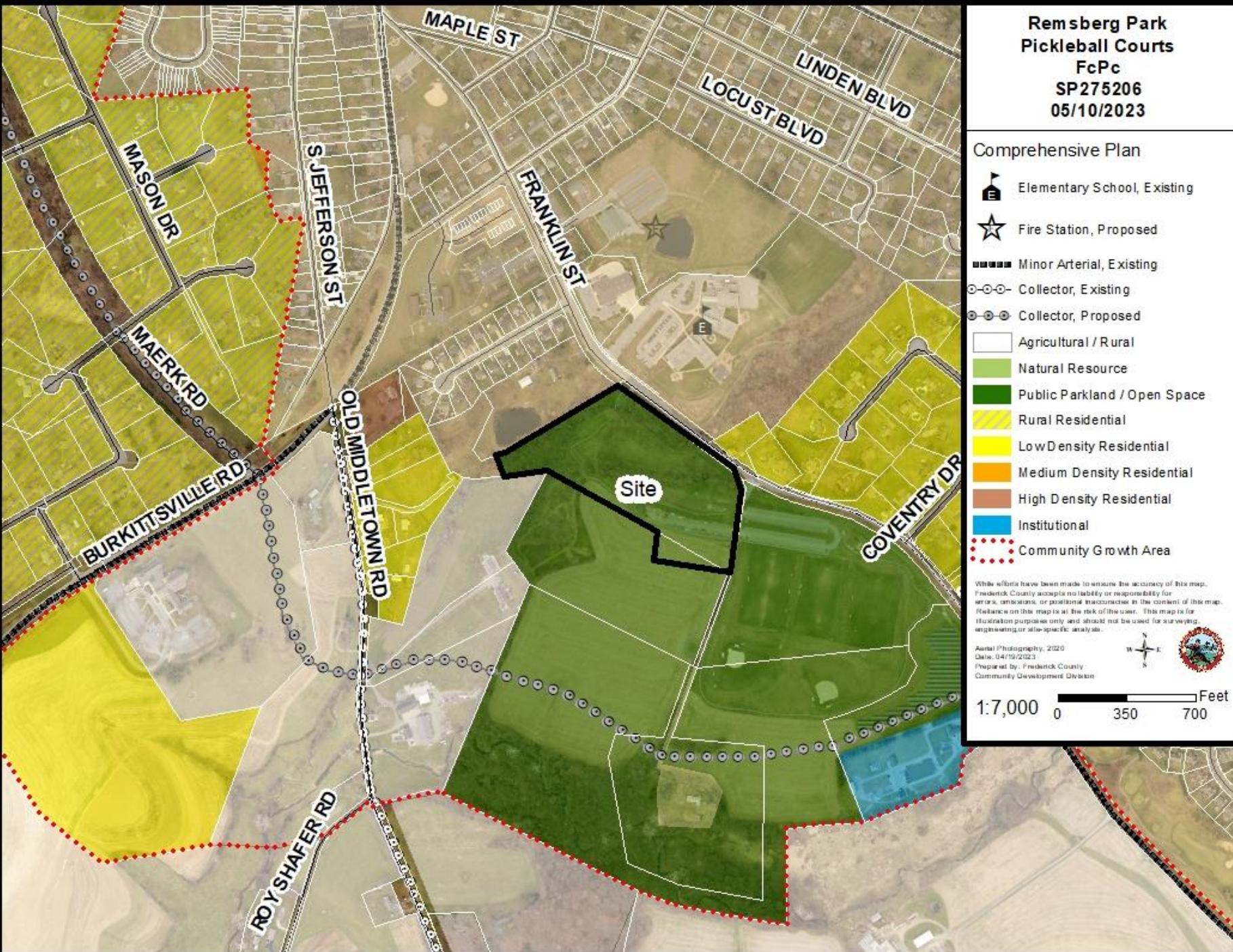
Remsberg Park Pickleball Courts

Site Plan

The Applicant is requesting Site Plan approval to construct six (6) pickleball courts on a 13.75-acre property.







Remsberg Park Pickleball Courts

Site Plan

Frederick County, Maryland

April, 2023

0' 10' 20' 30'



FSA

ZONING DATA	
ZONING SETBACKS	A (AGRICULTURAL)
FRONT-	40'
SIDE-	50'
REAR-	50'
MAX. BUILDING HEIGHT	30'
SITE DATA	
PARCEL DISTURBED AREA	LOT 3- 12.81 ACRES ±
EXISTING IMPERVIOUS	0.98 ACRES ±
TOTAL IMPERVIOUS	0 ACRES (WITHIN LOD)
	0.30 ACRES ± (PROPOSED)



RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until May 10, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following conditions are met:

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. The Addition Plat must be recorded prior to Site Plan approval.

Good News Presbyterian Church

Site Plan

The Applicant is requesting site plan approval to construct a 8,363 SF sanctuary and a covered outdoor seating area of 2,220 SF on a 5.72-acre lot to expand its existing 1,300 SF church on site.

Good News Presbyterian
Church
SP273722
FcPc
5/10/2023

While efforts have been made to ensure the accuracy of this map,
Frederick County accepts no liability or responsibility for
errors, omissions, or positional inaccuracy in the content of this map.
Reliance on this map is at the risk of the user. This map is for
illustration purposes only and should not be used for surveying,
engineering, or site-specific analysis.

Aerial Photography, 2020
Date: 04/18/2023
Prepared by: Frederick County
Community Development Division



1:2,000 0 100 200 Feet



Good News Presbyterian
Church
SP273722
FcPc
5/10/2023

Zoning

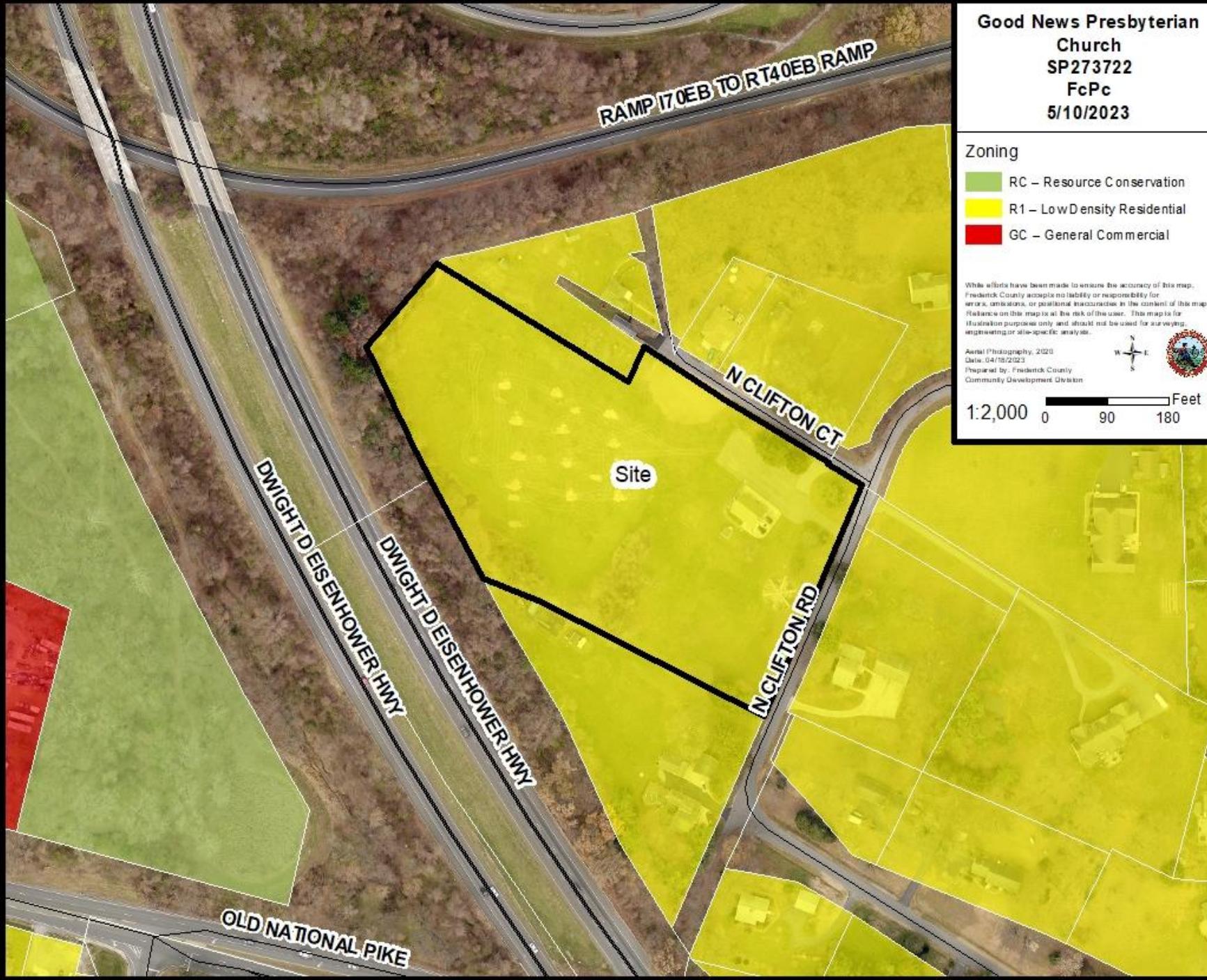
- RC – Resource Conservation
- R1 – Low Density Residential
- GC – General Commercial

While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or potential inaccuracy in the content of this map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering or site-specific analysis.

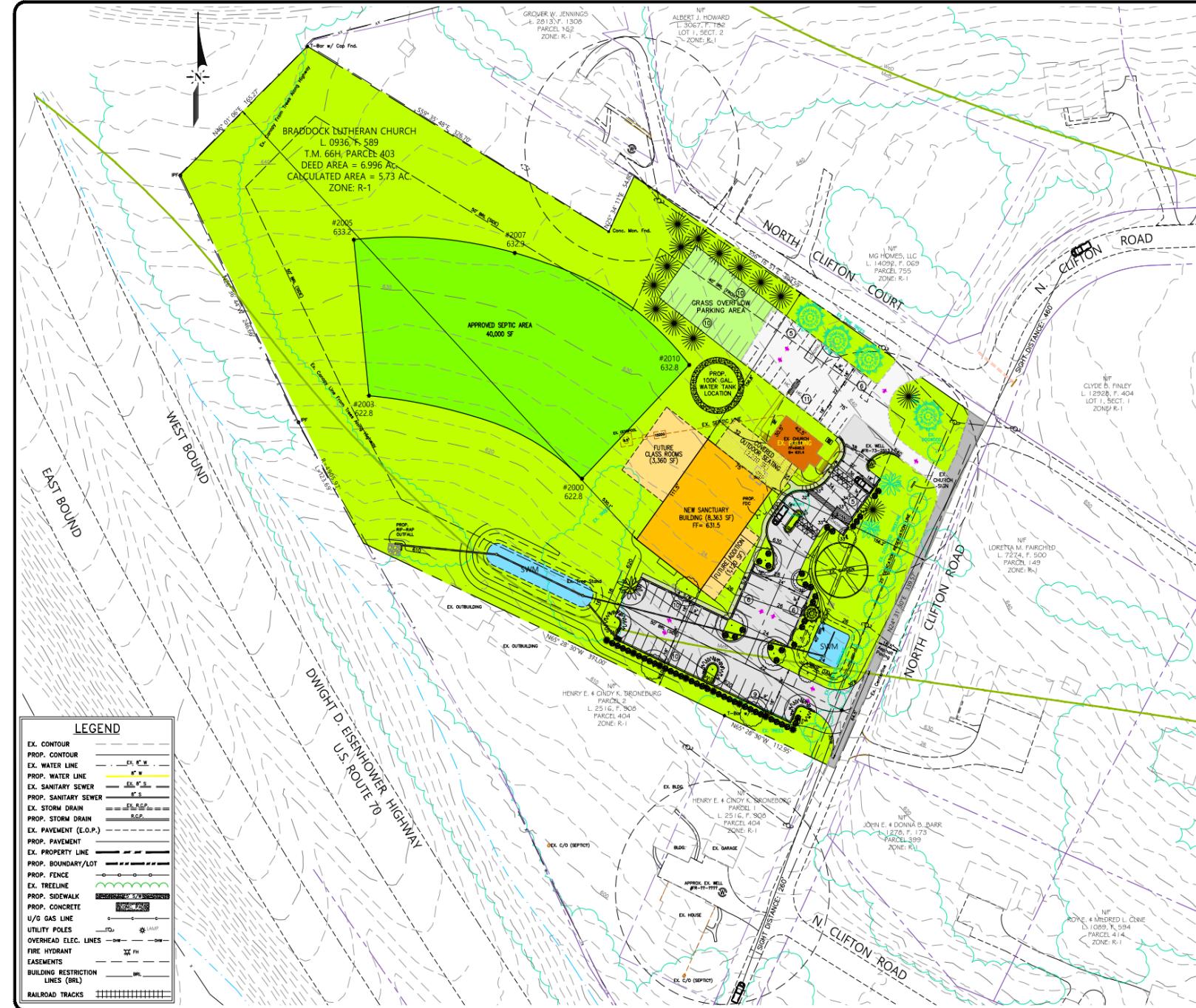
Aerial Photography, 2020
Date, 04/18/2023
Prepared by, Frederick County
Community Development Division



1:2,000 0 90 180 Feet







Terra Solutions Engineering, LLC		GOOD NEWS PRESBYTERIAN CHURCH	
Contractor & Professional Engineering Services		Sited at 6938 North Clifton Road	
5316 Chillum Court, Suite B15 Frederick, MD 21703 Phone: 301-734-9452, Email: terrasolutionsengineering@gmail.com		Liber 022 Colis 515 and P.B. 142 Brookside Heights Elected District No. 24 Frederick County, Maryland	
Contract Purchaser Contractor Good P. O. Box 1015 Frederick, Maryland 21702		SUTE PLAN RENDERING	
		NO.	REVISION
		DATE	DESCRIPTION
Seal & Signature			
PROJECT No.: 251			
DATE: SEPTEMBER 2022			
SCALE: 1" = 40'			
SHEET No. 1 of 1			

RECOMMENDATION

Staff has no objection to conditional approval of this Site Development Plan. If the Planning Commission conditionally approves the Site Development Plan, the plan is valid for a period of three (3) years from the date of Planning Commission approval (valid through May 10, 2026).

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions met:

Modification per Section 1-19-6.220(A) to allow 18 additional paved parking spaces (totaling 68 rather than the 50 required). Also request 20 grass overflow spaces.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. Add a note to the site plan indicating that the future additions are not part of this site plan approval and will require site plan approval when proposed.
3. Note percentage of native plantings.
4. Add bike rack detail.
5. Note required rear and side yards are 61' due to the steeple height.
6. FRO plan must be approved prior to final site plan approval. Mitigation must be provided prior to applying for any permits.

Mountain View Lawn Service

Site Plan

Site Development Plan Approval for a Limited Landscape Contractor operation with a Caretaker Residence in the Agricultural Zoning District, on an existing 15.63-acre parcel located on Longs Mill Road.

**Mountain View Limited
Landscape Business
SP273508
FcPc
5/10/2023**

While efforts have been made to ensure the accuracy of this map,
Frederick County accepts no liability or responsibility for
errors, omissions, or positional inaccuracies in the content of this map.
Reliance on this map is at the risk of the user. This map is for
illustrative purposes only and should not be used for surveying,
engineering, or site-specific analysis.

Aerial Photography: 2020
Date: 04/18/2023
Prepared by: Frederick County
Community Development Division



1:3,000 0 150 300 Feet



Mountain View Limited
Landscape Business
SP273508
FcPc
5/10/2023

Zoning

A - Agricultural

R1 - Low Density Residential

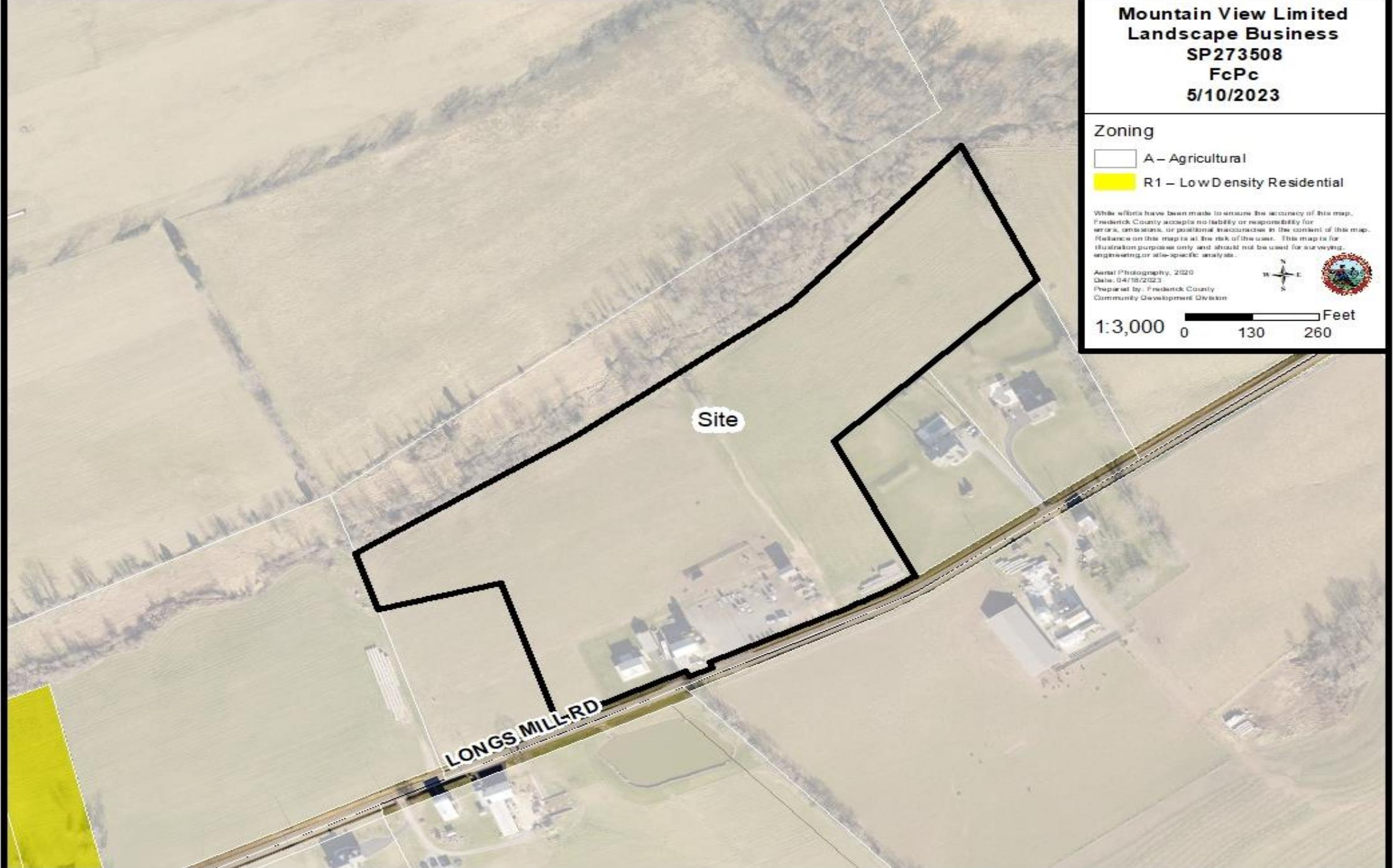
While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or positional inaccuracy in the content of this map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering, or site-specific analysis.

Aerial Photography, 2020
Date: 04/18/2023
Prepared by: Frederick County
Community Development Division



N
W E S

1:3,000 0 130 260 Feet



**Mountain View Limited
Landscape Business
SP273508
FcPc
5/10/2023**

Comprehensive Plan

○-○-○- Collector, Existing

■ Agricultural / Rural

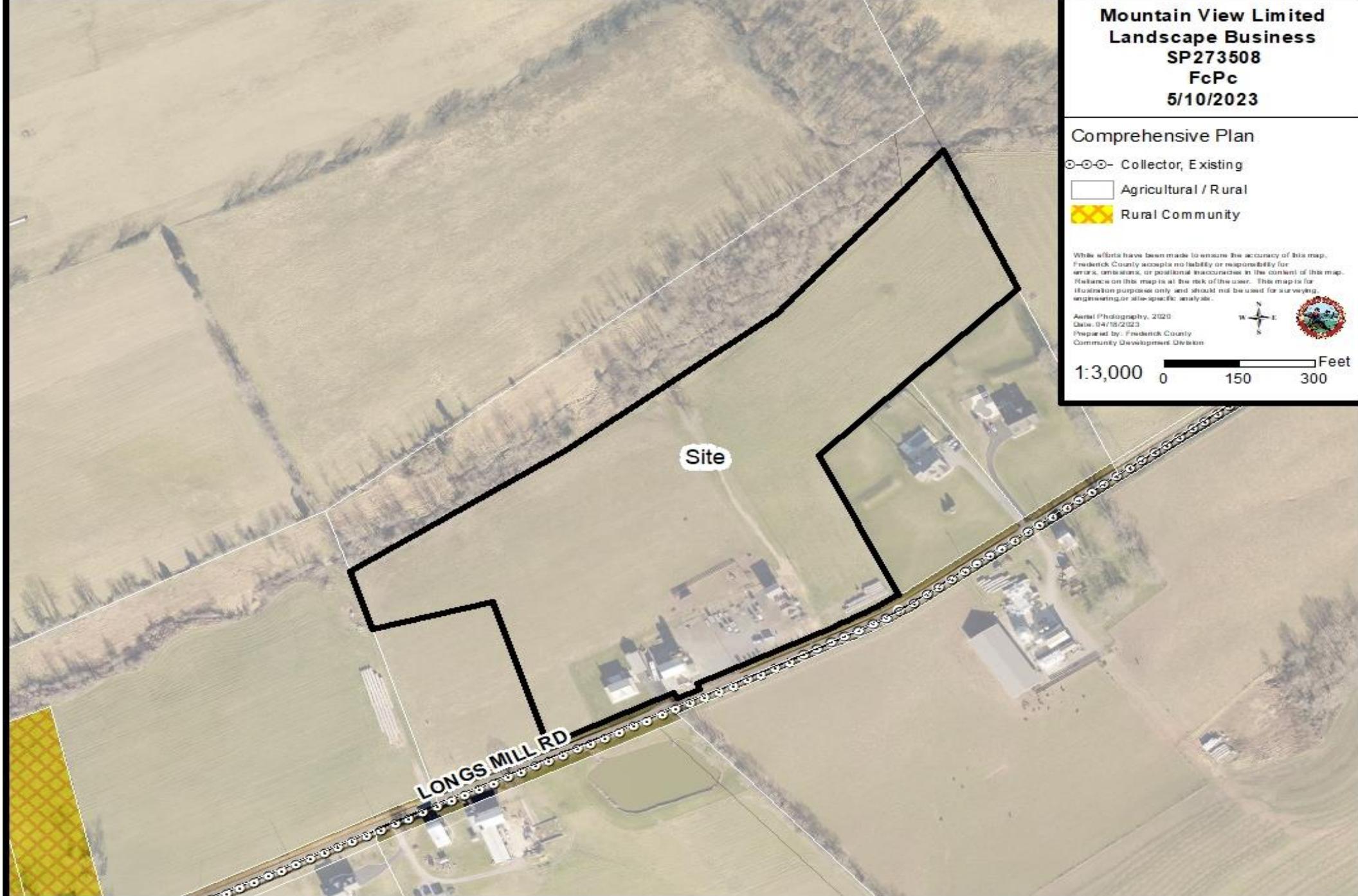
●●● Rural Community

While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or positional inaccuracy in the content of the map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering, or site-specific analysis.

Aerial Photography, 2020
Date: 04/18/2023
Prepared by: Frederick County
Community Development Division



1:3,000 0 150 300 Feet



RECOMMENDATION

Staff has no objection to conditional approval of the Mountain View Lawn Service Site Development Plan. If the Planning Commission conditionally approves the site development plan, the plan is valid for a period of three (3) years from the date of Planning Commission approval, or until May 10, 2026.

Based upon the findings and conclusions as presented in the staff report the application meets or will meet all applicable zoning, APFO, and FRO requirements once the following modification is approved and the conditions are met:

Modification 1-19-6.220(A(3)) to allow a reduction of 12 spaces of the 21 spaces required, totaling 9 spaces.

Staff-proposed conditions of approval:

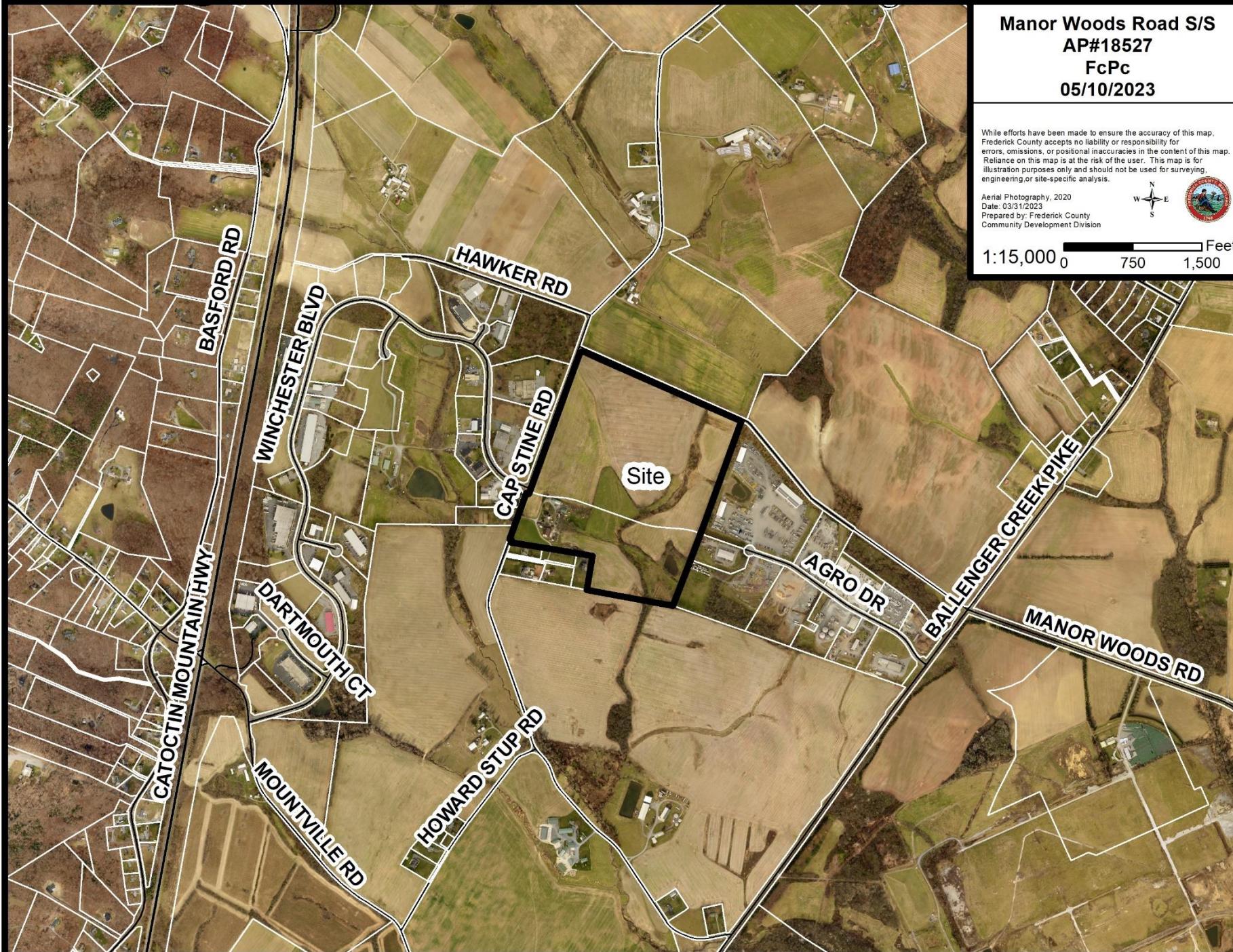
1. Address all agency comments as the plan proceeds through to completion.
2. Add additional screening to the east of the mulch pits.
3. Note percentage of canopy coverage provided.
4. Indicate loading space on plan.
5. Gain final approval of the Health Department.
6. FRO Plan and FRO mitigation must be approved prior to Site Plan.

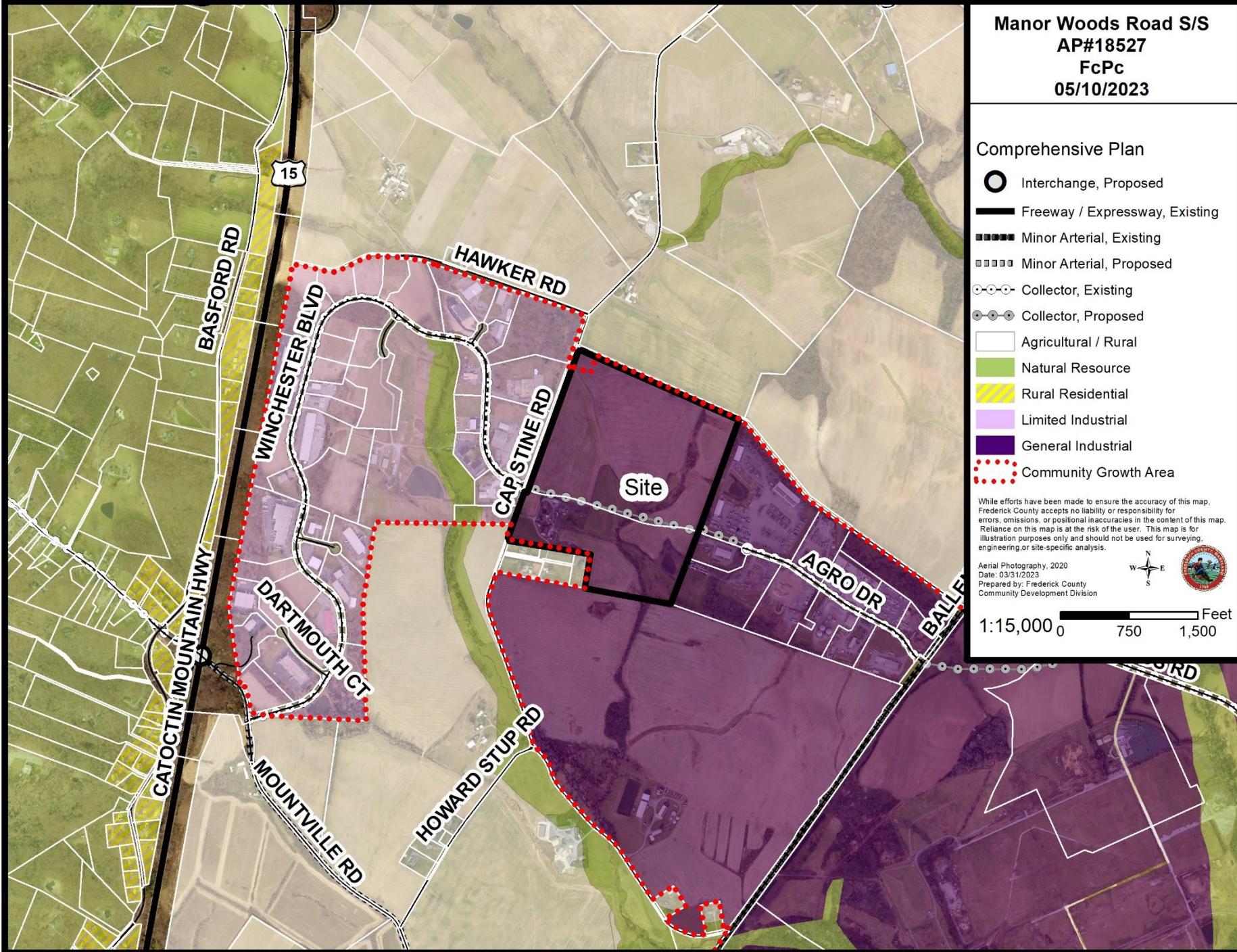
Noffsinger Farm Property

APFO Letter of Understanding

The Applicant is requesting a 10-year APFO approval for up to 176 am and 170 pm weekday peak hour driveway trips for a future General Industrial development.

Located at the southeast corner of the intersection of Manor Woods Road and Cap Stine Road.





RECOMMENDATION

Staff finds that this LOU satisfies the requirements identified in the APFO and its Guidelines. Staff has no objection to the approval of this APFO application, LOU, or the modification request. If the Planning Commission approves the APFO application and LOU, the APFO approval is valid for a period of ten (10) years from the date of Planning Commission approval (valid through May 10, 2033).